



2 3D VIEW - TYPICAL HOME

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Grand total: 34		

PROJECT NARRATIVE

THE PROPOSED SITE DEVELOPMENT IS FOR [6] DUPLEXES, FOR A TOTAL OF [12] INDIVIDUAL HOMES, EACH WITH A COVERED CARPORT. EACH DUPLEX WILL OCCUPY ONE SUBDIVIDED LOT. THE PUBLIC SPACE IMPROVEMENTS RELATED TO THIS DEVELOPMENT ARE TO BE MANAGED AND SUBMITTED BY MASS DEVELOPMENT.

THE HOMES WILL BE PRIMARILY CONSTRUCTED OF VOLUMETRIC MODULES BY REFRAME SYSTEMS IN ANDOVER, MA. THE MODULES WILL BE INSTALLED ON SITE VIA CRANE, ON HELICAL PIER FOUNDATIONS.

THE INSTALLATION OF THE HOMES IS PROPOSED AS [2] PRIMARY PHASES:

PHASE 1: LOTS 25 AND 27, [4] HOMES TOTAL, BEGINNING IN OCTOBER 2025.
PHASE 2: LOTS 29-35, [8] HOMES TOTAL, BEGINNING IN FEBRUARY 2026.

EACH UNIT HAS BEEN THOUGHTFULLY DESIGNED TO PRIORITIZE COMFORT, ENERGY EFFICIENCY, AND MODERN LIVING NEEDS. THE DUPLEXES WILL FEATURE:

- FOUR BEDROOMS, THREE BATHROOMS PER UNIT
- GROUND FLOOR BEDROOM AND FULL BATHROOM, OFFERING ADAPTABLE SPACE FOR A HOME OFFICE OR GUEST / IN-LAW ACCOMMODATION
- ENERGY EFFICIENT BUILDING ENVELOPE
- EFFICIENT MECHANICAL SYSTEMS
- ALL-ELECTRIC AND SOLAR-READY

PUBLIC WAY IMPROVEMENTS WILL BE SUBMITTED UNDER SEPARATE COVER BY MASS DEVELOPMENT, INCLUDING ROADWAY, STREETScape AND UTILITY IMPROVEMENTS. THE PROJECT WILL UTILIZE THE EXISTING RIGHT OF WAY SIZING, AND DOES NOT PROPOSE ANY CHANGE TO VEHICLE SIZE CONSTRAINTS OR FIRE TRUCK ACCESS.

SEE PROJECT DESCRIPTION INCLUDED WITH THIS SUBMISSION FOR ADDITIONAL INFORMATION.



CODE REFERENCES

MASSACHUSETTS RESIDENTIAL CODE 10TH EDITION, 780 CMR

248 CMR: BOARD OF STATE EXAMINERS OF PLUMBING AND GAS FITTERS

2021 INT'L MECHANICAL CODE, SECTION 101 AND 102

527 CMR 12.00: MASSACHUSETTS ELECTRICAL CODE (AMENDMENTS)

248 CMR: BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS

780 CMR 51.00: MASSACHUSETTS RESIDENTIAL CODE, CH 11: ENERGY EFFICIENCY, W/ STRETCH ENERGY CODE AS ADOPTED BY JURISDICTION

527 CMR 1.00: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE and 780 CMR AS ENFORCED BY THE BUILDING OFFICIAL

BUILDING CODE SUMMARY

PER COMMONWEALTH OF MA MANUFACTURED BUILDINGS AND BUILDING COMPONENT PROGRAM PLAN COVER SHEET REQUIREMENTS

MANUFACTURER & PLANT:
REFRAME SYSTEMS
30 LOWELL JUNCTION ROAD
ANDOVER, MA 01810

MC NUMBER: 1053
EXPIRATION DATE:

USE GROUP: R3

CONSTRUCTION TYPE: VB

SF PER FLOOR:
LEVEL 1 = 1022
LEVEL 2 = 1022

CU. FT. ENCLOSED SPACE = x

BUILDING HEIGHT ABOVE GRADE:
NO. STORIES = 2
NO. FEET = 33'-10 1/2"

SPECIAL SYSTEMS BY TYPE:
FIRE PROTECTION = NFPA 13D

DESIGN LIVE LOADS:
WALLS = 5 PSF APPLIED HORIZONTALLY
ROOF = 20PSF
FLOORS = 40 PSF (RESIDENTIAL)
CORRIDORS = 40PSF (SAME AS OCCUPANCY SERVED)
STAIRS = 100 PSF
BALCONIES = 1.5' LIVE LOAD OF AREA SERVED (60 PSF)
OTHER: HANDRAILS = 50 PLF OR 200 LB

SPECIAL USE PROVISIONS:
SET BACKS = SEE ZONING SUMMARY IN CIVIL DRAWINGS

THIS BUILDING SHALL NOT BE USED AS AN ADDITION TO ANOTHER BUILDING IF IT WILL DOWNGRADE THE CONSTRUCTION TYPE, OR REDUCE THE OPEN PERIMETER OF IN ANY WAY JEOPARDIZE LIFE SAFETY FEATURES OF THE EXISTING BUILDING

THIS BUILDING IS LIMITED TO PLACEMENT IN SNOW LOAD ZONES 1 OR 2, SEE STRUCT.

TOILET FACILITIES FOR THE BUILDING ARE TO BE PROVIDED ON SITE IN ACCORDANCE WITH 248 CMR

VENTILATION: MECHANICAL

MECHANICAL INFORMATION:
HEATING/COOLING SYSTEM = AIR SOURCE HEAT PUMP
OTHER FUEL BURNING EQUIPMENT = NONE
CHIMNEY = NONE
VENTING SYSTEM = ERV, XXX CFM

ENERGY CODE COMPLIANCE: C407.4 HERS INDEX
ENERGY MODEL INFORMATION: SEE A060 SERIES
VALUES:
WALLS = R-22 + R-9
CEILINGS = NA
FLOOR (GROUND) = R-22 + R-14
FLOORS (UPPER) = R-14
ROOF = R-22 + R-27
DOORS = SHGC 0.25 MIN
WINDOWS / GLAZING = U-VALUE 0.18, SHGC 0.26

PLATE LOCATION LABELS: UNDER KITCHEN SINK. SEE A130 SERIES PLANS.



MANUFACTURER'S ADDRESS AND PLANT ADDRESS

30 Lowell Junction Road
Andover, MA 01810
hello@reframe.systems

STRUCTURAL ENGINEER

DCI Engineers
515 South Congress Ave, Suite 600
Austin, TX 78704

FIRE PROTECTION

Comprehensive Fire Protection
97 Wilson Hill Road
New Ipswich, NH 03071
(603) 512-9373

CIVIL ENGINEER

Civil & Environmental Consultants, Inc.
31 Bellows Road
Raynham, MA 02767
(774) 501-2176

ENVELOPE & ENERGY MODEL

Innova Building Advisors
1548 South 16th Street
Philadelphia, PA 19146
(215) 446-9945

DEC SIGNATURE BLOCK

DRAWING ISSUANCES

1	03/28/25	SD SET
2	08/05/25	SITE PLAN SUBMISSION

SHEET REVISIONS

25 Adams Circle

NOT FOR CONSTRUCTION

25 Adams Circle
Devens, MA 01434

OWNER

Adams Circle LLC

TITLE SHEET

A000

SCALE: As indicated

ARCHITECT

ANDREW MCCUNE



FOR STATE USE ONLY

3RD PARTY
INSPECTION AGENCY
ICC NTA, LLC
MA. AUTH. NO: 11
EXPIRATION: 4/30/25

NOT USED FOR SITE SUBMISSION
(NTA SUBMISSION ONLY)

SIGN & SEAL

GENERAL SCOPE OF WORK:

THIS PACKAGE DESCRIBES THE CONSTRUCTION OF A DEVELOPMENT OF [12] NEW MODULAR 2-STORY, 2044 SF SINGLE FAMILY HOMES ON HELICAL PILE FOUNDATIONS.

GENERAL NOTES:

- DRAWINGS ARE REPRESENTATIVE DOCUMENTS TO FACILITATE DIGITAL MODELING, FACTORY AND SITE CONSTRUCTION. NOTE THAT "CONTRACTOR" REFERS TO THE SITE CONSTRUCTION TEAM, WHICH WILL BE PROVIDED BY REFRAME SYSTEMS U.N.O. IN PROJECT DOCUMENTS.
- CONTRACTOR SHOULD FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO SITE CONSTRUCTION. THE HEIGHTS OF GRADE INDICATED ON DRAWINGS ARE APPROXIMATE AND ARE PROVIDED FOR INFORMATION ONLY. NOTIFY DESIGNER OF ANY ALTERATIONS OR DISCREPANCIES IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS TO THE SUB-CONTRACTORS UNDER HIS JURISDICTION.
- THE CONTRACTOR IS TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, INCLUDING THE TIMING AND SCHEDULING OF THEIR WORK AND THE LAYOUT OF THEIR SYSTEMS. THE CONTRACTOR SHALL PROVIDE ALL SUB-CONTRACTORS WITH NECESSARY POWER AND ACCESS AND CONNECTIONS THROUGH FOUNDATION WALLS AS REQUIRED.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY AND GENERAL WELL BEING OF HIS EMPLOYEES. CONTRACTOR SHALL PROVIDE GUARDS, RAILS, BARRICADES, FENCES, CATCH PLATFORMS, BRIDGING, DECKING, NIGHT LIGHTING, ETC. AS REQUIRED. THE USE OF ANY STEREOS AND/OR RADIOS AND THE PRESENCE OF PETS OF ANY KIND ARE PROHIBITED ON THE JOB SITE.
- DRAWINGS SHALL NOT BE SCALED BY HAND. USE ONLY PRINTED DIMENSIONS TO IDENTIFY SIZE AND DIMENSION OF MATERIALS AS SHOWN. CONTACT THE DESIGNER TO VERIFY ANY DIMENSION THAT HAS BEEN OMITTED FROM THESE PLANS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK, FOR ALL MATERIALS THAT ARE SITE-PERFORMED AND THAT REQUIRE FABRICATION. ARCHITECT SHALL REVIEW AND RETURN SHOP DRAWINGS TO CONTRACTOR WITHIN A PERIOD OF TEN WORKING DAYS FROM THE DATE OF SUBMITTAL.
- ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS NOTED OTHERWISE OR AT THE SPECIFIC AUTHORIZATION OF THE OWNER.
- ALL WORK SHALL BE ERCTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.
- CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE WORK OR MAKE PARTS FIT TOGETHER PROPERLY, WITHOUT COMPROMISING QUALITY OF WORK.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND PROTECTING ALL WORK FROM DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MIS-ALIGNMENT ACCORDING TO APPLICABLE BUILDING CODES AND STANDARDS OF GOOD PRACTICE.
- CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SYSTEMS AT ALL TIMES FROM THE EFFECTS OF ADVERSE WEATHER (RAIN, SNOW, COLD, ETC.).
- ALL WORK SHALL BE INSTALLED SO THAT REQUIRED PARTS ARE READILY ACCESSIBLE AND AVAILABLE AS REQ'D FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
- CONTRACTOR SHALL MAINTAIN CLEAR AND UNOBSTRUCTED ACCESS FROM ALL FLOORS TO STAIRWELLS AND EXTERIOR EXITS AT ALL TIMES.
- CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- CONTRACTOR SHALL PROVIDE PROTECTION OF ALL WINDOWS AND DOORS DURING SITE SET AND BUTTION UP. MEANS OF PROTECTION SHALL NOT BE ATTACHED TO WINDOW AND DOOR FRAMES.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE REQUIRED TO COORDINATE WITH OTHER SUBCONTRACTORS AS NECESSARY, INCLUDING THOSE HIRED UNDER SEPARATE CONTRACT BY THE OWNER. EACH SUBCONTRACTOR SHOULD COMPLETE WORK ON AN EXPEDIENT AND REASONABLE SCHEDULE, IN A MANNER THAT DOES NOT DELAY OTHER TRADES AND SUBCONTRACTORS FROM COMPLETION OF WORK.
- ALL NAILS AND FASTENERS IN AREAS PRONE TO MOISTURE SHALL BE "HOT DIPPED GALVANIZED" UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL KEEP SUFFICIENT WORKMAN ON THE JOB SITE AT ALL TIMES TO PERFORM WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTEREST OF THE OWNER.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTION SERVICES OF LOCAL AUTHORITIES OTHER THE ACTUAL BUILDING PERMIT AND HISTORIC DISTRICT COMMISSION APPROVAL, WHICH SHALL BE SECURED BY THE OWNER OR DESIGNER PRIOR TO THE SCHEDULED START DATE. ALL INSPECTIONS, RECORDS AND CERTIFICATE OF OCCUPANCY SHALL BE GIVEN TO THE OWNER AT THE END OF THE JOB. THE JOB SHALL NOT BE CONSIDERED COMPLETE UNTIL THE CERTIFICATE OF OCCUPANCY IS ISSUED.
- ALL WORK ON SITE SHALL CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING, PLUMBING, ELECTRICAL, AND LIFE SAFETY CODES, EVEN WHEN NOT SPECIFIED IN THE DRAWING, NOTES, OR SPECIFICATIONS. IF ANY CODE IS IN CONFLICT WITH THESE, THE CONTRACTOR SHALL REPORT SUCH TO ARCHITECT FOR REVISIONS PRIOR TO COMMENCING WORK. IN THE EVENT OF CONFLICT BETWEEN APPLICABLE CODES OR REGULATIONS AND REFERENCE STANDARDS OF THESE PLANS AND SPECIFICATION, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES TO ENSURE SAFE DIGGING.
- A REGISTERED SURVEYOR SHALL BE REQUIRED TO SET ALL FOUNDATION CORNERS, ELEVATIONS AND DIMENSIONS ON SITE.
- USE OF THESE DRAWINGS MUST BE IN COMPLIANCE WITH ALL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION [OSHA] REQUIREMENTS.

FOUNDATION NOTES

- FOUNDATION NOTES ARE APPLICABLE TO ALL CONDITIONS UNLESS OTHERWISE NOTED.
- ALL FOUNDATION ELEMENTS SHALL BE INSTALLED PER ENGINEER'S AND/OR MANUFACTURER'S SPECIFICATIONS. SEE STRUCTURAL DRAWINGS FOR CONCRETE REQUIREMENTS AND HELICAL PIER SUBCONTRACTOR'S ENGINEERED DESIGN DOCUMENTS FOR PIER INSTALLATION REQUIREMENTS.
- CONCRETE FOUNDATION WALLS SHALL BE KEYED INTO FOOTINGS.
- ANY FOOTINGS AND CONCRETE PIERS SHALL EXTEND 4'-0" BELOW GRADE MINIMUM.
- CONCRETE PIERS SHALL HAVE BELL CAST FOOTING. BASE OF BELL SHALL BE 3 TIMES WIDTH OF PIER; DEPTH OF BELL SHALL EQUAL WIDTH OF PIER. TAPER OF BELL SHALL BE 45 DEG. ANGLE MINIMUM.
- CONCRETE FLOOR SLABS SHALL BE 4" THICK MINIMUM AND BE REINFORCED WITH WELDED WIRE MESH OR FIBER MESH REINFORCING. REINFORCING SHALL BE PLACED AT THE CENTER OF THE SLAB. FLOOR SLABS SHALL BE POURED OVER 4" GRAVEL BASE AND 6 MIL. POLY-VAPOR BARRIER ON STRUCTURALLY COMPACTED OR UNDISTURBED SOIL.
- VAPOR BARRIER SHALL BE CONTINUOUSLY INSTALLED BENEATH ALL CONCRETE FLOOR SLABS, AND OVER ALL EXPOSED EARTH IN CRAWL SPACES. 100% COVERAGE IS MANDATORY. MEMBRANE SHALL BE WRAPPED AROUND FOOTINGS TO FORM A CAPILLARY BREAK BETWEEN THE GROUND AND THE FOOTING.
- PROVIDE CONTINUOUS 4" LAYERS OF CRUSHED STONE UNDER FOOTINGS OR PROVIDE PIPE THROUGH FOOTING FOR DRAINAGE OF ANY ACCUMULATED WATER UNDER SLAB.
- A FOUNDATION DRAIN SHALL BE INSTALLED FLUSH WITH THE BOTTOM OF THE FOOTING, WHERE OCCURS, AND COVERED WITH SILT PROTECTION FABRIC, GRAVEL, OR BOTH. ALL DRAIN LINES SHALL BE CONNECTED AWAY AND DOWNHILL FROM THE FOUNDATION AND BE DRAINED TO DAYLIGHT. IF NECESSARY TO DRAIN TO THE INTERIOR, USE A SEALED SUMP PUMP SYSTEM.

FRAMING NOTES

- NOTES APPLY TO WOOD FRAMING INSTALLED IN BOTH FACTORY AND FIELD CONDITIONS.
- SEE STRUCTURAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL WOOD FRAMING MEMBERS SHALL BE STRUCTURAL GRADE #2 OR BETTER.
- ALL WOOD SHALL COMPLY WITH THE U.S. DEPARTMENT OF COMMERCE AMERICAN LUMBER STANDARDS SIMPLIFIED PRACTICE AND GRADING REQUIREMENTS OF A RECOGNIZED ASSOCIATION UNDER WHOSE RULES THE LUMBER IS PRODUCED.
- WOOD SHALL BE FROM LIVE STOCK, THOROUGHLY SEASONED, WELL MANUFACTURED AND GENERALLY FREE FROM WARPAGE THAT CANNOT BE CORRECTED BY BRIDGING OR NAILING.
- MOISTURE CONTENT OF LUMBER SHALL NOT EXCEED 19% AT THE TIME OF CONSTRUCTION.
- VERIFY ALL ROUGH OPENINGS WITH WINDOW AND DOOR SCHEDULE.
- SIZES OF WOOD MEMBERS ARE NOMINAL SIZES. ALL LUMBER SHALL BE SURFACED ON FOUR SIDES UNLESS OTHERWISE SPECIFIED.
- STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
- PLYWOOD SHALL COMPLY WITH ALL APPLICABLE STANDARDS OF THE APA (AMERICAN PLYWOOD ASSOCIATION)

EXTERIOR FINISH NOTES

- ZIP SYSTEM TAPE SHALL BE INSTALLED OVER ALL EXTERIOR SHEATHING JOINTS TO RESIST MOISTURE AND WIND INFILTRATION. MFR RECOMMENDED TAPE AND FLASHING SHALL CONTINUE BEHIND ALL EXTERIOR TRIM, PER MANUFACTURER RECOMMENDATION.
- EXTERIOR ROOFING MATERIAL SHALL BE INSTALLED AS PER MFRG'S WRITTEN INSTRUCTIONS AND HAVE A MINIMUM 25-YEAR MANUFACTURER'S WARRANTY. SELF-ADHERING SHINGLES, WATERPROOFING, ICE/WATER SHIELD OR EQUAL, SHALL BE INSTALLED OVER THE ENTIRE ROOF ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND ASTM D6135.
- A SILL GASKET, EPDM-TYPE RUBBER, SHEET METAL OR OTHER SUITABLE MEMBRANE SHALL BE INSTALLED OVER THE COMPLETE FRAMED WALL WIDTH BETWEEN A CONCRETE FOUNDATION WALL AND SILL PLATE.
- REMOVE ALL MANUFACTURERS' STICKERS FROM GLASS AFTER INSTALLATION & FACTORY INSPECTION.
- KEEP AREAS TO BE INSULATED CLEAN AND DRY. DO NOT INSTALL INSULATION WHERE IT MAY BE EXPOSED TO WATER. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS AND BUILDING CODE REQUIREMENTS. PROVIDE INSECT SCREEN OR BARRIER AT ALL VENT OPENINGS.
- ALL EXTERIOR STEPS SHALL LAND ON TO A 4" CONCRETE PAD SET ON A 4" GRAVEL BASE ON STRUCTURALLY COMPACTED SOIL, UNLESS OTHERWISE SPECIFIED.
- WINDOW CAPS OR TRIM AND ALL OTHER PROJECTIONS AT POINTS WHERE RAIN ACCUMULATES OR RUNS OFF SHALL BE PROVIDED WITH FLASHING. SUCH FLASHING SHALL EXTEND A MINIMUM OF 6" UP THE WALL UNDER THE SHEATHING PAPER AND NOT LESS THAN 6" HORIZONTALLY. FLASHING SHALL BE SUFFICIENT LENGTH TO COVER THE COURSE ABOVE WITHOUT BEING PUNCTURED BY NAILS.
- ALL EXTERIOR TRIM SHALL BE PLANED ON ALL FOUR SIDES AND HAVE SQUARED EDGES, UNLESS SPECIFIED OTHERWISE IN DRAWINGS.
- WINDOW & DOOR MANUFACTURERS AND SIZES AND HARDWARE SHALL BE SPECIFIED IN DOOR AND WINDOW SCHEDULE.
- CAVITIES SHALL SUPPORT PROPER VENTING, INCLUDING THE INSTALLATION OF BAFFLES BETWEEN ALL RAFTERS. KEEP ALL VENTILATION SPACE UNOBSTRUCTED.

PLUMBING/MECHANICAL NOTES:

- STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
- ALL PLUMBING/MECHANICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, BE PERFORMED BY A LICENSED TRADESPERSON, AND BE COMPLETED IN ACCORDANCE WITH THE DIRECTION OF FACTORY INSPECTION OFFICIALS AND/OR LOCAL BUILDING CODE OFFICIALS. SUBCONTRACTORS AND TRADESPERSONS ARE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS FOR THEIR TRADE, SCHEDULING AND COMPLETING REQUIRED INSPECTIONS AND OPERATING ON A REASONABLE AND EFFICIENT SCHEDULE THAT DOES NOT DELAY THE WORK OF OTHER TRADES.
- ALL MATERIALS SHALL BE SIZED IN ACCORDANCE WITH THE PROPOSED PLANS, ALLOWING FOR FUTURE EXPANSION IF INDICATED. ALL WORK SHALL BE INSTALLED SO THAT REQUIRED PARTS ARE READILY ACCESSIBLE AND AVAILABLE AS REQ'D FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
- ALL PRODUCTS, MATERIALS AND FIXTURES SHALL BE INSTALLED IN A MANNER CONSISTENT WITH SOUND PRACTICE AND QUALITY WORKMANSHIP.
- PLUMBING WORK PERFORMED ON SITE SHALL INCLUDE ALL LABOR AND MATERIALS FOR ALL REQUIRED PIPING, EQUIPMENT CONNECTIONS AND TESTING, AND SEWER/SEPTIC CONNECTIONS.
- VENT TO THE EXTERIOR ALL BATHROOMS.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING NOTES WITHIN ARCHITECTURAL DRAWINGS FOR FURTHER INFORMATION.

PAINTING NOTES

- PAINT TO BE LATEX BASE BY BENJAMIN MOORE OR EQUAL. PAINTED TRIM, MILLWORK, DOOR PANELS TO BE SATIN FINISH. WALL SURFACES TO BE MATTE WASHABLE (LOW LUSTER). CEILINGS TO BE FLAT.
- ALL SURFACES SHALL BE PROPERLY AND THOROUGHLY PRIMED. PRIMER FOR GWB SURFACES TO BE BENJAMIN MOORE ACRYLIC PRIMER OR EQUAL. PRIMER FOR WOOD SURFACES TO BE BENJAMIN MOORE ALKYD ENAMEL UNDERBODY OR EQUAL.
- ALL INTERIOR PAINTS SHALL HAVE A MAXIMUM VOC CONTENT OF 150 G/L. FLAT FINISH INTERIOR PAINTS SHALL HAVE A MAXIMUM VOC CONTENT OF 50 G/L. NO-VOC PAINT IS PREFERRED.
- ALL SURFACES TO BE PAINTED ARE TO BE CLEANED OF ALL DIRT, OIL OR OTHER FOREIGN SUBSTANCE PRIOR TO PAINTING.
- ALL COLORS TO BE APPLIED TO COVER FULLY AND COMPLETELY TO PROVIDE AN OPAQUE, SMOOTH SURFACE OF UNIFORM FINISH, COLOR AND APPEARANCE. ANY SUBSTRATE WHICH IS STILL VISIBLE AT THE COMPLETION OF PAINTING SHALL BE CONSIDERED UNACCEPTABLE. ALL NEW SURFACES TO RECEIVE A MINIMUM OF ONE PRIMER COAT AND TWO FINISH COATS.
- ALL CANS OF INDIVIDUAL COLOR TO BE INTERMIXED TO ASSURE UNIFORM COLOR THROUGHOUT.
- PROVIDE UP TO 3 COLOR SAMPLES ON SITE PER COLOR FOR ARCHITECT'S APPROVAL PRIOR TO APPLICATION.
- MAKE EDGES OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN, WITH NO OVERLAPPING.
- EACH COATING OF PAINT SHALL BE WIPED FREE OF DUST PRIOR TO APPLICATION OF SUCCEEDING FINISHES.
- DRIPS, ROLLER MARKS, ROLLER FUZZ AND MOTTLED SURFACES ARE NOT ACCEPTABLE.
- UPON COMPLETION OF PAINTING WORK, CLEAN ALL SURFACES OF SPATTERED OR SPILLED PAINT. PAINTER SHALL LEAVE ANY EXCESS PAINT IN PROPERLY SEALED CANS WITH SUPERINTENDENT; LABEL EACH CAN CLEARLY WITH NUMBER, FINISH AND TYPE.

GYPSUM WALLBOARD NOTES

- NOTES APPLY TO GYPSUM WALL BOARD THAT IS INSTALLED ON SITE AND IN THE FACTORY, UNLESS OTHERWISE NOTED.
- GYPSUM WALLBOARD SHALL BE 5/8" THICK, UNLESS OTHERWISE SPECIFIED. JOINT COMPOUND, TAPE AND ADHESIVE SHALL COMPLY WITH ASTM C475, ASBESTOS-FREE. CORNER REINFORCEMENT SHALL BE DUR-A-BEAD NO. 103, EDGE BEAD SHALL BE NO 200A AS MANUFACTURED BY U.S. GYPSUM, UNLESS OTHERWISE SPECIFIED. FRAMING SHALL BE ON WOOD STUDS SET 16" O.C. TYPICALLY, EXCEPT WHERE NOTED. ALL OTHER MATERIALS SHALL BE RECOMMENDED BY THE WALLBOARD MANUFACTURER.
- INSTALL GYPSUM WALLBOARD AND ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS, UNLESS OTHERWISE SHOWN OR DIRECTED.
- IN ANY LOCATION WHERE METAL "J" BEAD IS NECESSARY AS AN ENDING TO DRYWALL (I.E. G.W.B.) REQUIRED BY COMMON PRACTICE, OR SPECIFIED BY DETAIL THE "J" BEAD SHALL BE A U.S. GYPSUM #200-A METAL TRIM "J" BEAD FOR 5/8" THICK G.W.B., UNLESS OTHERWISE SPECIFIED.
- HOLD JOINTS BACK AT LEAST 8" FROM CORNERS OF DOOR FRAMES. SPACE SCREWS NOT MORE THAN 16" O.C.
- REINFORCE ALL JOINTS AT TAPERED EDGES AND INTERIOR CORNERS WITH JOINT REINFORCING TAPE SET IN JOINT COMPOUND.
- FILL ALL JOINTS, FASTENER HEADS, TRIM RECESSES, CRACKS AND OTHER DEPRESSIONS WITH 3 COATS OR MORE OF JOINT COMPOUND, FINISH SMOOTH AND FLUSH AS RECOMMENDED BY MANUFACTURER SO THAT LOCATION OF JOINTS, SCREWS AND OTHER ITEMS WILL NOT BE VISIBLE AFTER PAINTING.
- WORK TO INCLUDE PLASTER PATCHING OR GWB PATCHING OF MODULE-TO-MODULE SEAMS, AS WELL AS ANY HOLES OR OPENINGS MADE IN THE COURSE OF THE PROGRESS OF THE WORK. HOLES CUT FOR ELECTRICAL WIRING, OR ANY OTHER ASPECTS OF THE WORK SHALL BE PATCHED TO MATCH ADJACENT SURFACES.
- AS APPLICABLE, THE GYPSUM WALLBOARD USED IN THE KITCHEN AND BATHS SHALL BE MOISTURE RETARDANT TYPE (W/R).
- ALL NEW GYPSUM WALLS, CEILINGS, AND SOFFITS TO HAVE COMPLETE LEVEL 4-5 SKIM COAT COVERAGE IN ORDER TO ELIMINATE TAPE JOINTS AND WAVINESS.
- ALL GYPSUM WALLS IN AFFECTED FLOORS, BOTH NEW AND EXISTING, TO RECEIVE TRIMS AROUND BASES AND OPENINGS AS PER TYPICAL DETAILS.

ABBREVIATIONS

ABOVE FINISHED FLOOR ACCESS PANEL	AFF	HOLLOW CORE	HC
ACOUSTICAL	A.P.	HOLLOW METAL	H.M.
ADJACENT	ACOUS.	HORIZONTAL	HORIZ.
AIR CONDITIONING	ADJ.	INCHES	IN.
ALUMINUM	A/C	INSULATION	INSUL.
ARCHITECTURAL	APPROX.	JUNCTION BOX	J.B.
BLOCKING	ARCH.	LAMINATE	LAM.
CEILING	BLKG	LOW VOLTAGE	L.V.
CEILING HEIGHT	CLG.	MATERIAL	MATL.
CENTER LINE	C.H.	MAXIMUM	MAX.
CERAMIC TILE	CL	MECHANICAL	MECH.
COLUMN	C.T.	METAL	MTL.
CONCRETE	COL.	MINIMUM	MIN.
CONSTRUCTION	CONC.	MISCELLANEOUS	MISC.
CONTINUOUS	CONST.	MOLDING	MLDG.
DETAIL	DTL.	MOUNTED	MTD.
DIMENSION	DR.	MULLION	MUL.
DOOR	DBL.	NOMINAL	NOM.
DOUBLE	DN.	NOT APPLICABLE	N.A.
DRAWING	DWG.	NOT IN CONTRACT	N.I.C.
EACH	EA.	NUMBER	NO.
ELECTRIC/ELECTRICAL	ELEC.	ON CENTER	O.C.
ELEVATION	EL.	OPENING	OPNG
EMERGENCY	EMER.	OPPOSITE/OPPOSITE HAND	OPP/OPH
EQUAL	EQT.	PAINTED	PTD.
EQUIPMENT	EQPT.	PARTITION	PARTN.
EXISTING	EXIST.	PLASTER	PL
EXTERIOR	EXT.	PLASTIC LAMINATE	P.LAM
FINISH FLOOR	FIN	PLYWOOD	PLYWD., PLY
FIREPROOF	FIN. FL.	QUANTITY	QTY.
SELF-CLOSING	FPRF.	RECESSED	REC.
FLOOR	S.C.	REQUIRED	REQ'D
FLUORESCENT	FL	RETURN AIR	R.A.
FOOT/FEET	FLUOR.	REVISE/REVISION	REV.
BY OTHERS/OWNER	B.O.	ROUGH OPENING	R.O.
GLASS	GL	SCHEDULE	SCHED.
GRILLE	GRL.	SECTION	SECT.
GROUND FAULT INTER.	GFI.	SHEET	SHT.
GYPSUM WALLBOARD	GWB	SIMILAR	SIM.
HANDRAIL	HNDRL.	SOLID CORE	SC
HARDBOARD	HDBD.	SQUARE FOOT	SQ.FT.
HARDWOOD	HWDW.	STAINLESS STEEL	S.STL.
HEATING, VENT. & A/C	HVAC	STANDARD	STD.
		STEEL	STL.
		STORAGE	STOR.
		TELEPHONE	TEL.
		TO BE DETERMINED	T.B.D.
		TYPICAL	TYP.
		UNLESS OTHERWISE NOTED	U.O.N.
		VERIFY IN FIELD	V.I.F.
		VINYL COMPOSITION TILE	VT/VCT
		WITH	W/
		WITHOUT	W/O
		WOOD	WD.

DRAWING SYMBOLS

	ELEVATION MARKER
	SPOT ELEVATION
	REFERENCE GRID LINE
	PROPERTY LINE
	BREAKLINE
	VAPOR BARRIER
	OBJECT ABOVE
	HIDDEN OBJECT
	DIMENSION LINE
	ALIGNMENT

REFERENCE SYMBOLS

	PLAN NORTH
	DRAWING TITLE
	DETAIL REFERENCE
	ELEVATION SYMBOLS
	SECTION REFERENCE
	GRAPHIC SCALE

FACTORY VS. FIELD GRAPHICS


	FACTORY-BUILT ASSEMBLIES, UNLESS OTHERWISE NOTED
	FIELD-BUILT ASSEMBLIES, UNLESS OTHERWISE NOTED

MATERIAL SYMBOLS

	CONCRETE		GRAVEL
	STEEL		SAND
	ALUMINUM		RIGID INSULATION
	BRICK		PLYWOOD
	FINISHED WOOD		GLASS
	CONTINUOUS BLOCKING/STRUCTURAL LUMBER		PLASTIC LAM. OR WATERPROOFING MEMBRANE
	NON-CONTINUOUS BLOCKING OR SHIM		GYPSUM WALL BOARD
	EXISTING EARTH		BATT INSULATION
	COMPACTED FILL		GLASS (ELEVATION)
			OPENING OR VOID

IDENTIFICATION SYMBOLS

	DOOR TAG
	WALL TAG
	WINDOW TAG
	CLG. MTD. COMBINED SMOKE-CO2 DETECTOR HARDWIRE 120V WITH BATTERY
	CEILING ELEVATION TAG
	REVISION SYMBOL AND TAG
	ELECTRICAL PANEL
	INDICATES FIREPROOF SELF-CLOSING DOOR



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SYSTEMS

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DRAWING ISSUANCES

1	03/28/25	SD SET
2	08/05/25	SITE PLAN SUBMISSION

SHEET REVISIONS

25 Adams Circle

NOT FOR CONSTRUCTION

25 Adams Circle
Devens, MA 01434

OWNER

Adams Circle LLC


GENERAL NOTES

A001

SCALE: _____ As indicated

ARCHITECT

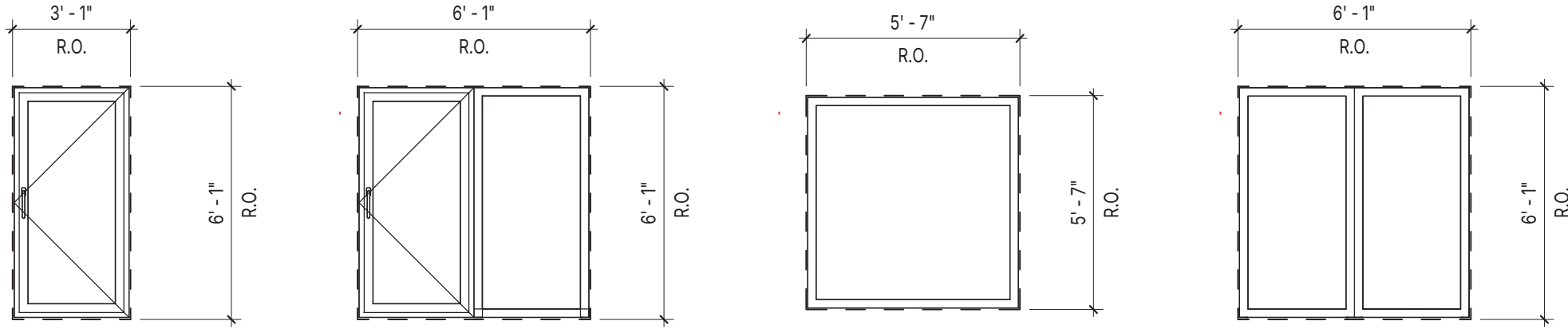
ANDREW MCCUNE



WINDOW SCHEDULE																
						SILL HEIGHT - WINDOW A.F.F.	HEAD HEIGHT - WINDOW A.F.F.			R.O. HEAD HEIGHT A.F.F.	R.O. HEAD HEIGHT IN PANEL	U-VALUE	SHGC	AREA	TEMPERED	NOTES
TAG	TYPE	OPERATION	MANUFACTURER	WIDTH	HEIGHT			R.O. WIDTH	R.O. HEIGHT							
L1 T.O. SUBFLOOR																
102	A	TILT AND TURN		3' - 0"	6' - 0"	2' - 8"	8' - 8"	3' - 1"	6' - 1"	8' - 8 1/2"	8' - 9"	0.18	0.26	18.00 SF	YES	
105	B	FIXED/ TILT AND TURN		6' - 0"	6' - 0"	2' - 7 1/2"	8' - 7 1/2"	6' - 1"	6' - 1"	8' - 8"	8' - 8 1/2"	0.18	0.26	36.00 SF	NO	
106	A	TILT AND TURN		3' - 0"	6' - 0"	2' - 8"	8' - 8"	3' - 1"	6' - 1"	8' - 8 1/2"	8' - 9"	0.18	0.26	18.00 SF	NO	
106.2	A	TILT AND TURN		3' - 0"	6' - 0"	2' - 8"	8' - 8"	3' - 1"	6' - 1"	8' - 8 1/2"	8' - 9"	0.18	0.26	18.00 SF	NO	
106.3	D	FIXED		6' - 0"	6' - 0"	2' - 7 1/2"	8' - 7 1/2"	6' - 1"	6' - 1"	8' - 8"	8' - 8 1/2"	0.16	0.3	36.00 SF	NO	
109	B	FIXED/ TILT AND TURN		6' - 0"	6' - 0"	2' - 7 1/2"	8' - 7 1/2"	6' - 1"	6' - 1"	8' - 8"	8' - 8 1/2"	0.18	0.26	36.00 SF	NO	
L2 T.O. SUBFLOOR																
202	C	FIXED		5' - 6"	5' - 6"	3' - 2"	8' - 8"	5' - 7"	5' - 7"	8' - 8 1/2"	8' - 9"	0.16	0.3	30.25 SF	NO	
203	B	FIXED/ TILT AND TURN		6' - 0"	6' - 0"	2' - 7 1/2"	8' - 7 1/2"	6' - 1"	6' - 1"	8' - 8"	8' - 8 1/2"	0.18	0.26	36.00 SF	NO	
204	A	TILT AND TURN		3' - 0"	6' - 0"	2' - 8"	8' - 8"	3' - 1"	6' - 1"	8' - 8 1/2"	8' - 9"	0.18	0.26	18.00 SF	NO	
204.1	A	TILT AND TURN		3' - 0"	6' - 0"	2' - 8"	8' - 8"	3' - 1"	6' - 1"	8' - 8 1/2"	8' - 9"	0.18	0.26	18.00 SF	NO	
205	A	TILT AND TURN		3' - 0"	6' - 0"	2' - 8"	8' - 8"	3' - 1"	6' - 1"	8' - 8 1/2"	8' - 9"	0.18	0.26	18.00 SF	YES	
208	A	TILT AND TURN		3' - 0"	6' - 0"	2' - 8"	8' - 8"	3' - 1"	6' - 1"	8' - 8 1/2"	8' - 9"	0.18	0.26	18.00 SF	NO	
208.1	A	TILT AND TURN		3' - 0"	6' - 0"	2' - 8"	8' - 8"	3' - 1"	6' - 1"	8' - 8 1/2"	8' - 9"	0.18	0.26	18.00 SF	NO	
209	B	FIXED/ TILT AND TURN		6' - 0"	6' - 0"	2' - 7 1/2"	8' - 7 1/2"	6' - 1"	6' - 1"	8' - 8"	8' - 8 1/2"	0.18	0.26	36.00 SF	NO	
Grand total: 14																

TRIPLE GLAZED PVC WINDOWS
U-VALUE: 0.18 (OPERABLE)
SHGC: 0.31 - 0.26 (OPERABLE)

U-VALUE: 0.16 (FIXED)
SHGC: 0.31 - 0.30 (FIXED)



A - CASEMENT

B - CASEMENT MULLED TO FIXED

C - FIXED WINDOW

D - FIXED MULLED TO FIXED

- Window Types Legend
- 1/4" = 1'-0"

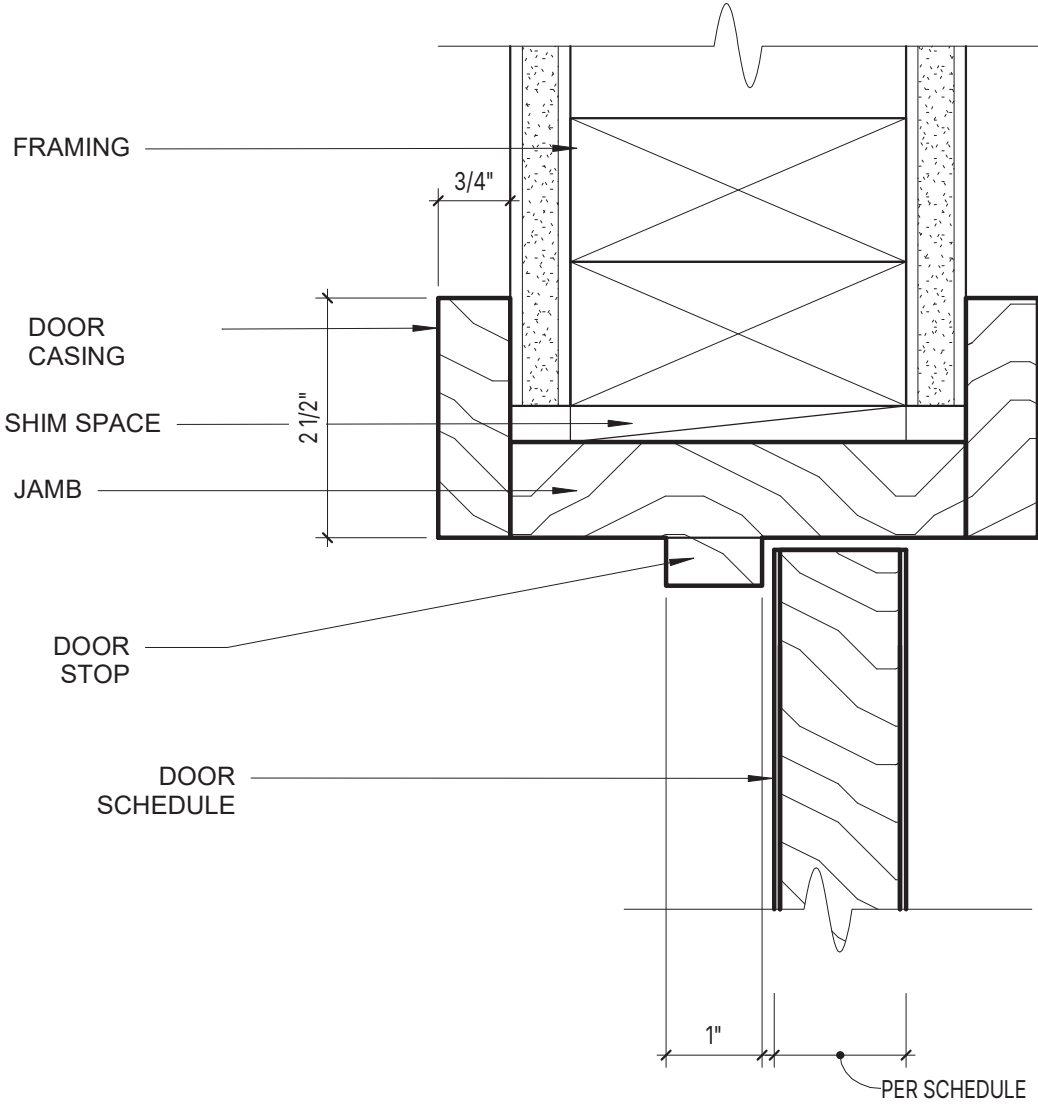
EXTERIOR DOOR SCHEDULE																	
			DOOR PANEL - NOMINAL DIMENSIONS			DOOR PANEL		DOOR FRAME			ROUGH OPENING		R.O. HEIGHT FROM SUBFLOOR	NOTES	MANUFACTURER	AREA	TEMPERED
			WIDTH	HEIGHT	THICKNESS	UNDERCUT	MATERIAL	WIDTH	HEIGHT	FRAME MATERIAL	WIDTH	HEIGHT - A.F.F.					
Level	TAG	OPERATION	WIDTH	HEIGHT	THICKNESS	UNDERCUT	MATERIAL	WIDTH	HEIGHT	FRAME MATERIAL	WIDTH	HEIGHT - A.F.F.	R.O. HEIGHT FROM SUBFLOOR	NOTES	MANUFACTURER	AREA	TEMPERED
L1 T.O. SUBFLOOR																	
L1 T.O. SUBFLOOR	105	SLIDE					GLASS	6' - 0"	8' - 7 1/2"	PVC	6' - 0"	8' - 7 1/2"	8' - 8"	REAR YARD PATIO DOORS		51.63 SF	YES
L1 T.O. SUBFLOOR	101	SWING					WOOD	3' - 0"	8' - 6"	WD	3' - 3"	8' - 8 1/2"	8' - 9"	ENTRY DOOR	MASONITE 1 PANEL DOOR	25.47 SF	N/A

GLAZED DOORS
U-VALUE: 0.19
SHGC: 0.31 - 0.33

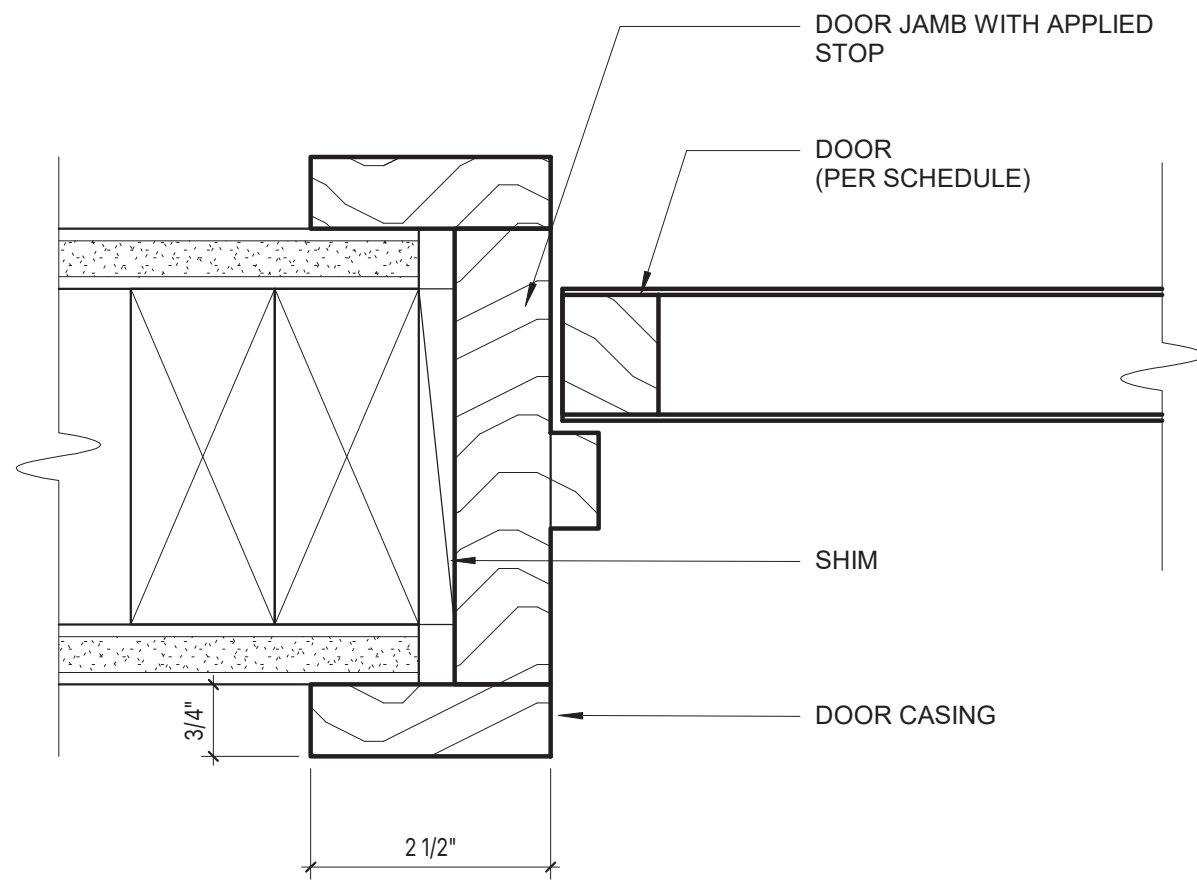
INTERIOR DOOR SCHEDULE															
			FIRE RATING	DOOR PANEL	DOOR PANEL		DOOR FRAME					ROUGH OPENING		NOTES	MANUFACTURER
				THICKNESS	UNDERCUT	MATERIAL	WIDTH	HEIGHT	THICKNESS	DEPTH	MATERIAL	WIDTH	HEIGHT - FROM SUBFLOOR		
FIRST FLOOR															
FIRST FLOOR	208.4							3' - 9"	6' - 6"						
FIRST FLOOR: 1															
L1 T.O. SUBFLOOR															
L1 T.O. SUBFLOOR	103	SWING		0' - 1 1/2"		WOOD	2' - 10"	6' - 8"			WD	3' - 1"	6' - 10 1/2"	INTERIOR SINGLE BATHROOM	HORNER, MASONITE PR-C11 1-PANEL
L1 T.O. SUBFLOOR	105.18	SWING		0' - 1 1/2"		WOOD	4' - 0"	6' - 8"			WD	4' - 3"	6' - 10 1/2"	INTERIOR DOUBL CL	HORNER, FLUSH HARDBOARD SOLID CORE
L1 T.O. SUBFLOOR	107	SWING		0' - 1 1/2"		WOOD	2' - 6"	6' - 8"			WD	2' - 9"	6' - 10 1/2"	INTERIOR SINGLE BATHROOM	HORNER, MASONITE PR-C11 1-PANEL
L1 T.O. SUBFLOOR	109	SWING		0' - 1 1/2"		WOOD	3' - 0"	6' - 8"			WD	3' - 3"	6' - 10 1/2"	INTERIOR SINGLE TYP.	HORNER, MASONITE PR-C11 1-PANEL
L1 T.O. SUBFLOOR	208.8						2' - 6"	1' - 0 1/2"				3' - 0"	3' - 0"		Bilco
L1 T.O. SUBFLOOR: 5															
L2 T.O. SUBFLOOR															
L2 T.O. SUBFLOOR	203	SWING		0' - 1 1/2"		WOOD	3' - 0"	6' - 8"			WD	3' - 3"	6' - 10 1/2"	INTERIOR SINGLE TYP.	HORNER, MASONITE PR-C11 1-PANEL
L2 T.O. SUBFLOOR	205	SWING		0' - 1 1/2"		WOOD	2' - 10"	6' - 8"			WD	3' - 1"	6' - 10 1/2"	INTERIOR SINGLE BATHROOM	HORNER, MASONITE PR-C11 1-PANEL
L2 T.O. SUBFLOOR	206	SWING		0' - 1 1/2"		WOOD	2' - 10"	6' - 8"			WD	3' - 1"	6' - 10 1/2"	INTERIOR SINGLE BATHROOM	HORNER, MASONITE PR-C11 1-PANEL
L2 T.O. SUBFLOOR	207	SWING		0' - 1 1/2"		WOOD	2' - 10"	6' - 8"			WD	3' - 1"	6' - 10 1/2"	INTERIOR SINGLE TYP.	BROSCO SINGLE PANEL SHAKER BOD
L2 T.O. SUBFLOOR	208	SWING		0' - 1 1/2"		WOOD	2' - 10"	6' - 8"			WD	3' - 1"	6' - 10 1/2"	INTERIOR SINGLE TYP.	BROSCO SINGLE PANEL SHAKER BOD
L2 T.O. SUBFLOOR	208.1	SWING		0' - 1 1/2"		WOOD	4' - 0"	6' - 8"			WD	4' - 3"	6' - 10 1/2"	INTERIOR DOUBL CL	HORNER, FLUSH HARDBOARD SOLID CORE
L2 T.O. SUBFLOOR	209	SWING		0' - 1 1/2"		WOOD	2' - 10"	6' - 8"			WD	3' - 1"	6' - 10 1/2"	INTERIOR SINGLE TYP.	BROSCO SINGLE PANEL SHAKER BOD
L2 T.O. SUBFLOOR	209.1	SWING		0' - 1 1/2"		WOOD	4' - 0"	6' - 8"			WD	4' - 3"	6' - 10 1/2"	INTERIOR DOUBL CL	HORNER, FLUSH HARDBOARD SOLID CORE
L2 T.O. SUBFLOOR: 8															
Grand total: 14															

NOTES

- INTERIOR DOOR R.O. MEASURED FROM TOP OF SUBFLOOR
- JAMB THICKNESS PER WALL TYPE AND PLAN



① INTERIOR SWING DOOR - HEADER
6" = 1'-0"



② INTERIOR SWING DOOR - JAMB
6" = 1'-0"



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Philadelphia, PA 19146
(215) 446-9945



DRAWING ISSUANCES

1	03/28/25	SD SET
2	08/05/25	SITE PLAN SUBMISSION

SHEET REVISIONS

	XX/XX/25	PERMIT SET

25 Adams
Circle

NOT FOR CONSTRUCTION

25 Adams Circle
Devens, MA 01434

OWNER

Adams Circle LLC

SCHEDULES - WINDOWS
AND DOORS

A051

SCALE: As indicated

ARCHITECT

ANDREW MCCUNE





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DEC SIGNATURE BLOCK

DRAWING ISSUANCES

1 03/28/25 SD SET
2 08/05/25 SITE PLAN SUBMISSION

SHEET REVISIONS

25 Adams Circle

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25 Adams Circle
Devens, MA 01434

OWNER

Adams Circle LLC

ENERGY COMPLIANCE

A060

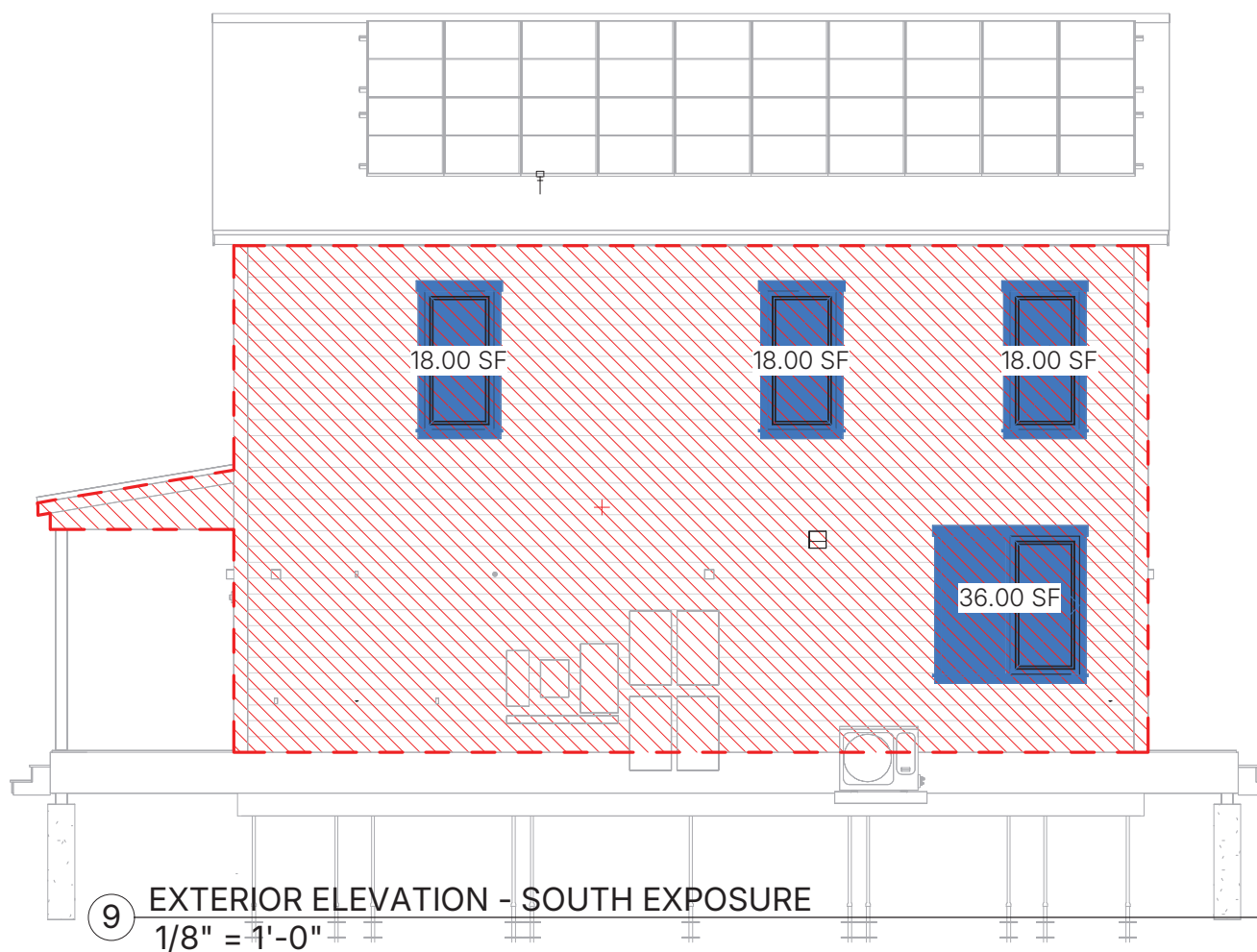
SCALE: As indicated

ARCHITECT

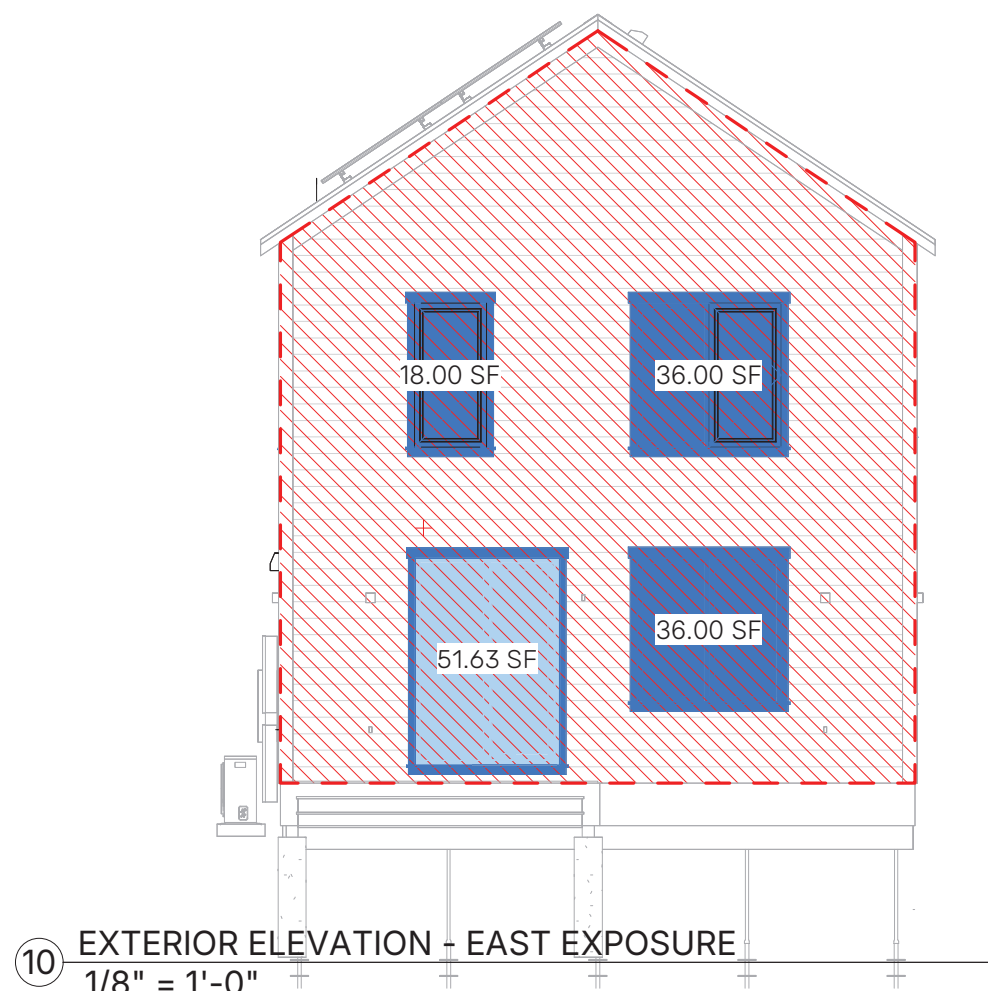
ANDREW MCCUNE



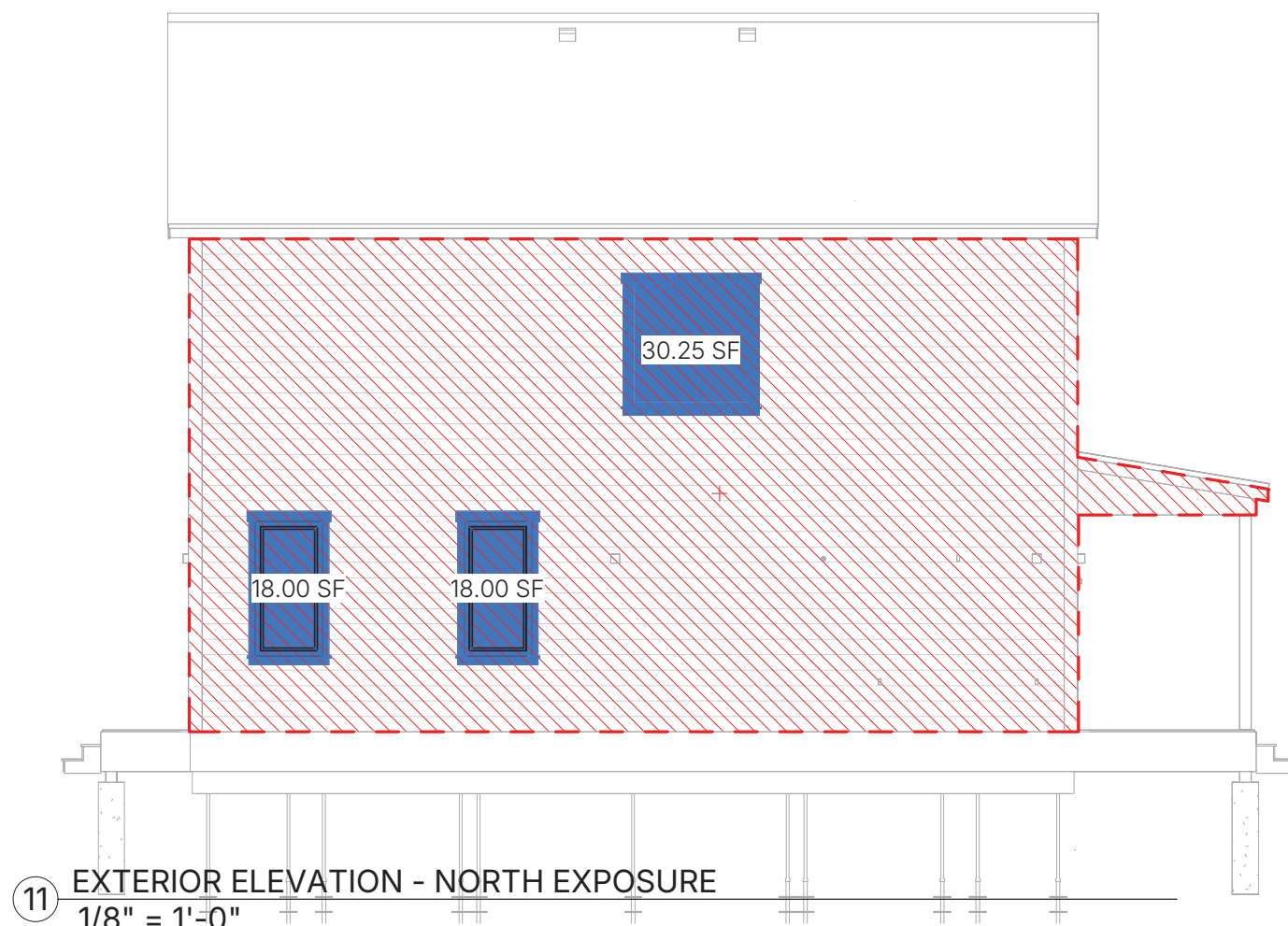
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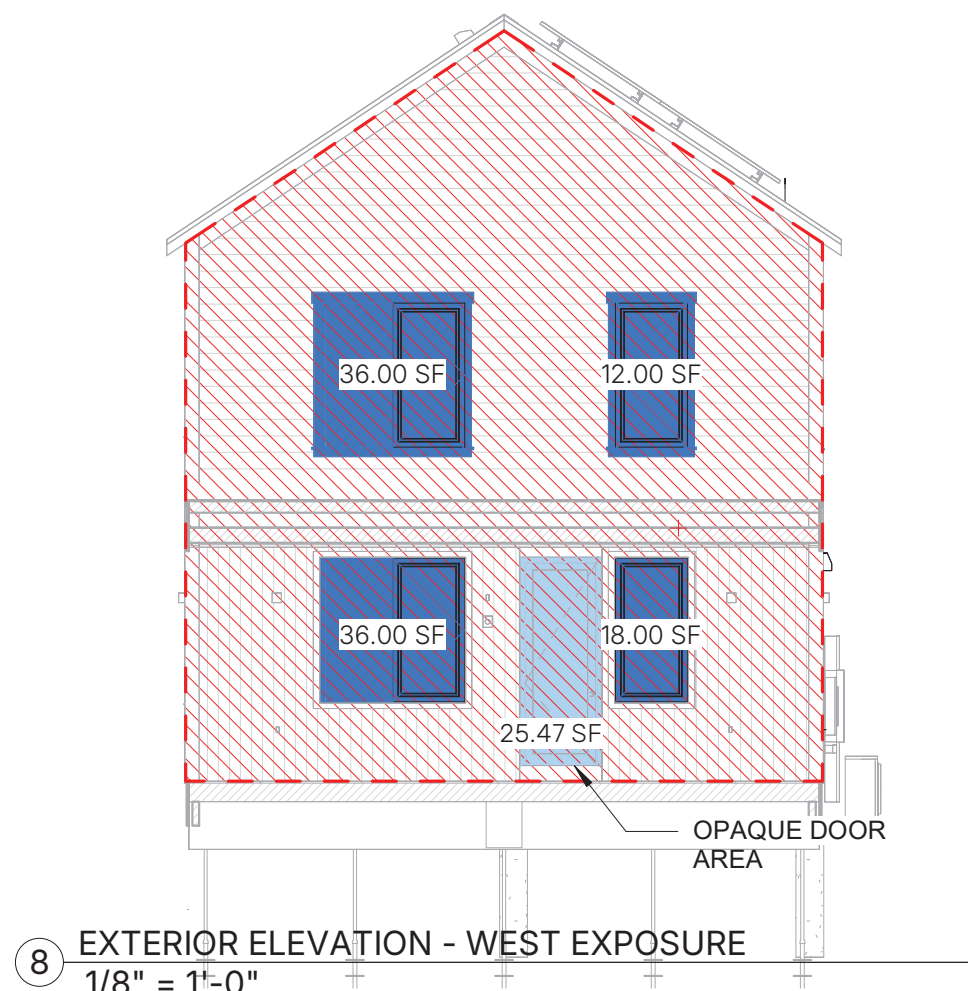
AREA: 678.39 SF



AREA: 839.42 SF



AREA: 678.39 SF

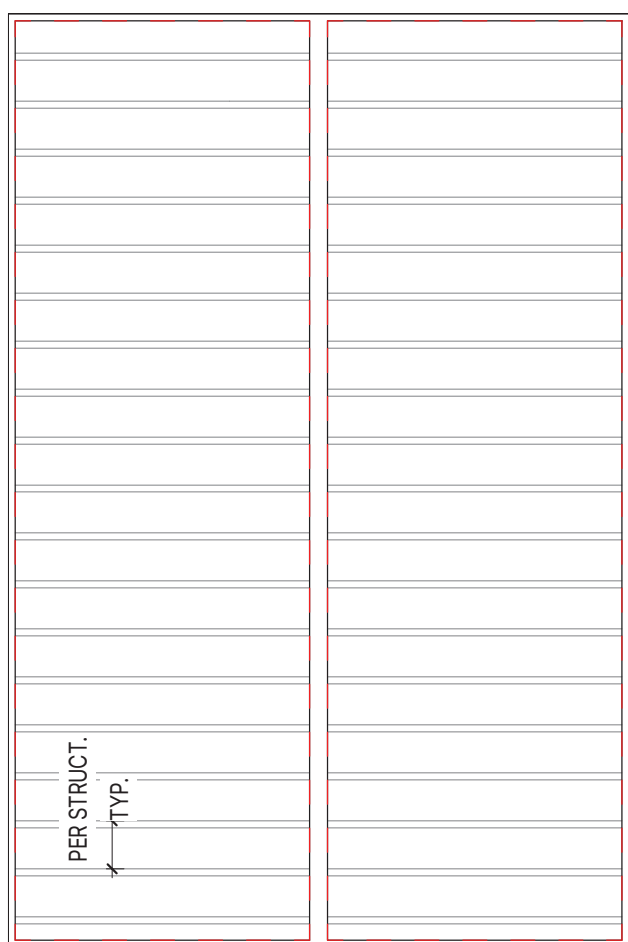


INFILTRATION VOLUME CALC

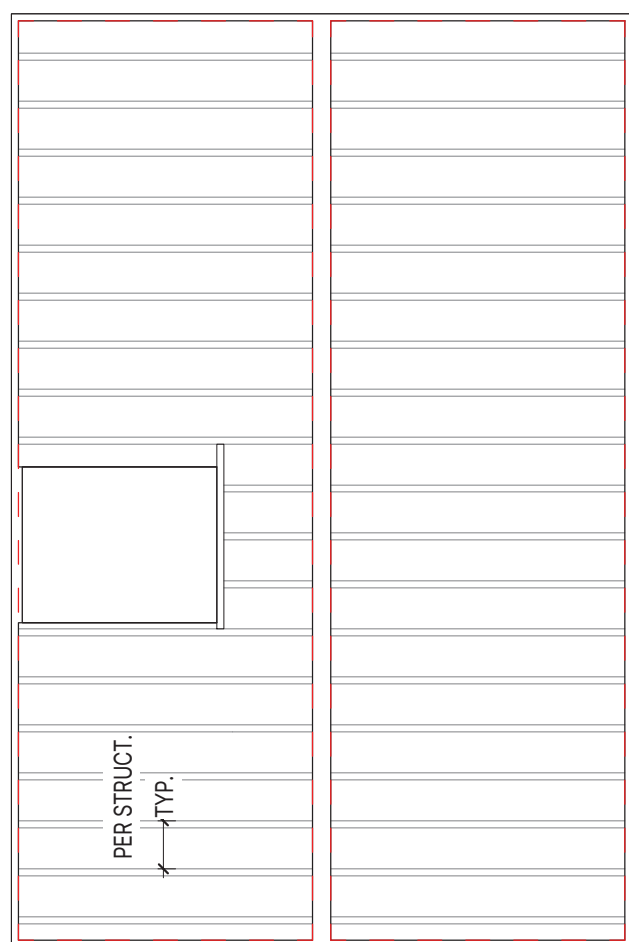
LEVEL	NAME	AREA	VOLUME
L1 T.O. SUBFLOOR	PANTRY	33.61 SF	112.73 CF
L1 T.O. SUBFLOOR	CL 1	17.43 SF	155.21 CF
L1 T.O. SUBFLOOR	MUDROOM	40.70 SF	363.35 CF
L1 T.O. SUBFLOOR	BATH 1	50.83 SF	452.48 CF
L1 T.O. SUBFLOOR	HALL/STAIR	48.84 SF	480.13 CF
L1 T.O. SUBFLOOR	ENTRY HALL	65.30 SF	581.36 CF
L1 T.O. SUBFLOOR	BED 1	144.70 SF	1289.47 CF
L1 T.O. SUBFLOOR	DINING ROOM	157.77 SF	1405.90 CF
L1 T.O. SUBFLOOR	KITCHEN	171.80 SF	1529.56 CF
L1 T.O. SUBFLOOR	LIVING	239.41 SF	2132.78 CF
L2 T.O. SUBFLOOR	LAUNDRY	39.16 SF	348.35 CF
L2 T.O. SUBFLOOR	LANDING NOOK	58.36 SF	517.91 CF
L2 T.O. SUBFLOOR	HALL/STAIR	62.70 SF	555.79 CF
L2 T.O. SUBFLOOR	BATH 2	68.37 SF	608.21 CF
L2 T.O. SUBFLOOR	BATH 3	78.00 SF	694.93 CF
L2 T.O. SUBFLOOR	CL 3	98.13 SF	872.77 CF
L2 T.O. SUBFLOOR	BED 3	125.73 SF	1116.96 CF
L2 T.O. SUBFLOOR	BED 4	137.61 SF	1222.49 CF
L2 T.O. SUBFLOOR	BED 2	174.63 SF	1550.94 CF
			15991.31 CF

CONDITIONED FLR AREA CALC

LEVEL	PLAN LABEL	AREA
L1 T.O. SUBFLOOR	CONDITIONED FLOOR AREA L1	1047.7 SF
L2 T.O. SUBFLOOR	CONDITIONED FLOOR AREA L2	1047.9 SF



③ ATTIC PLAN FRAME FLOOR AREA
1/8" = 1'-0"



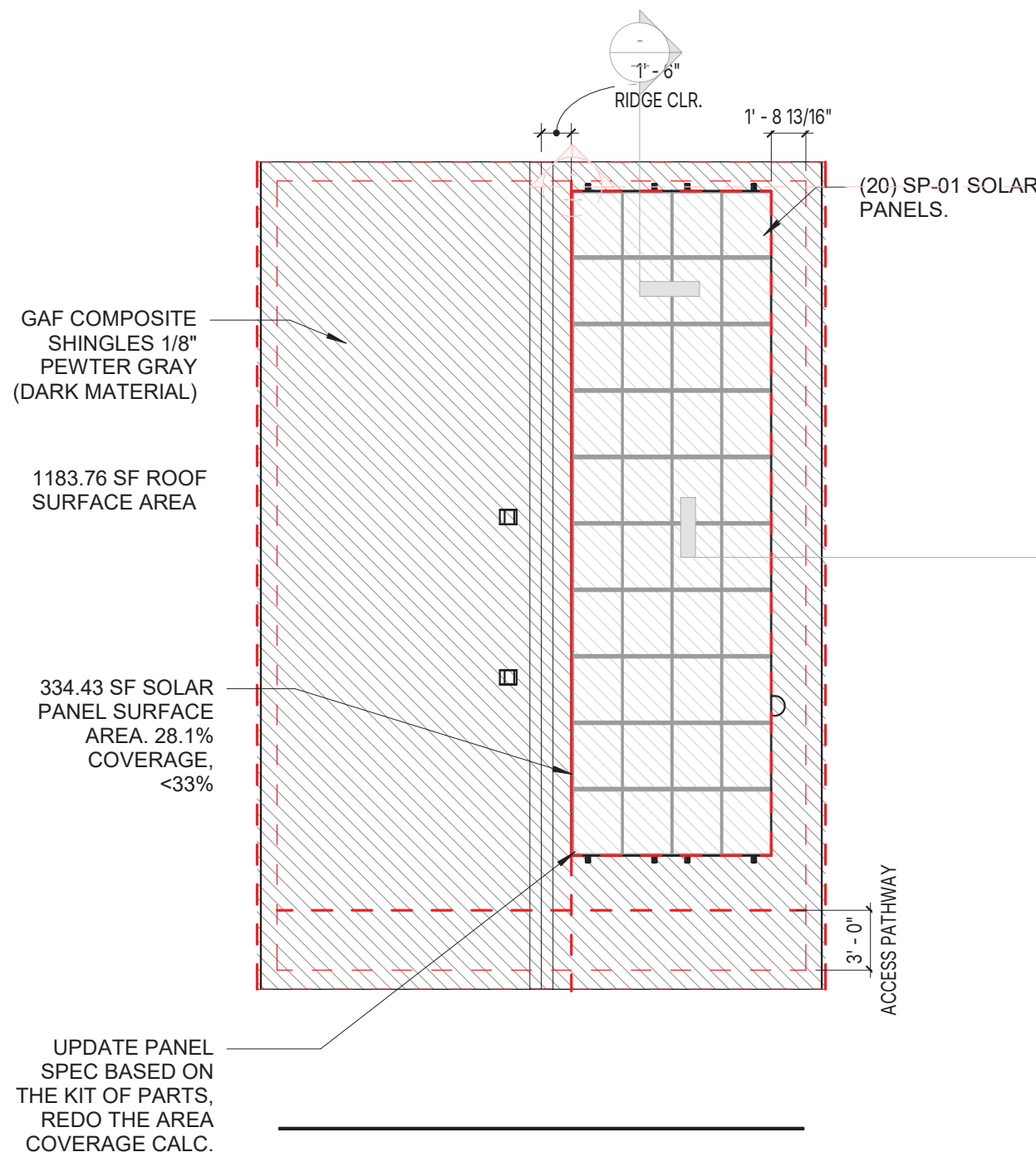
② LEVEL 2 PLAN FRAME FLOOR AREA
1/8" = 1'-0"



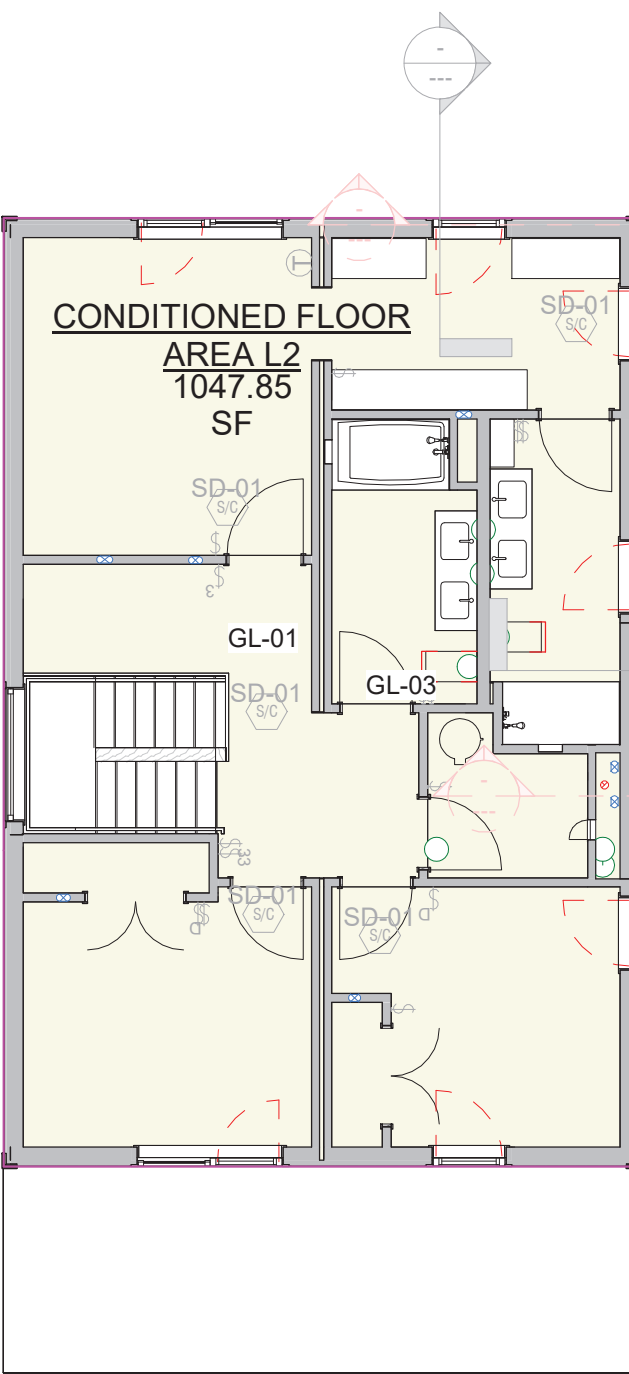
① LEVEL 1 FRAMED FLOOR AREA
1/8" = 1'-0"

SOLAR PANEL

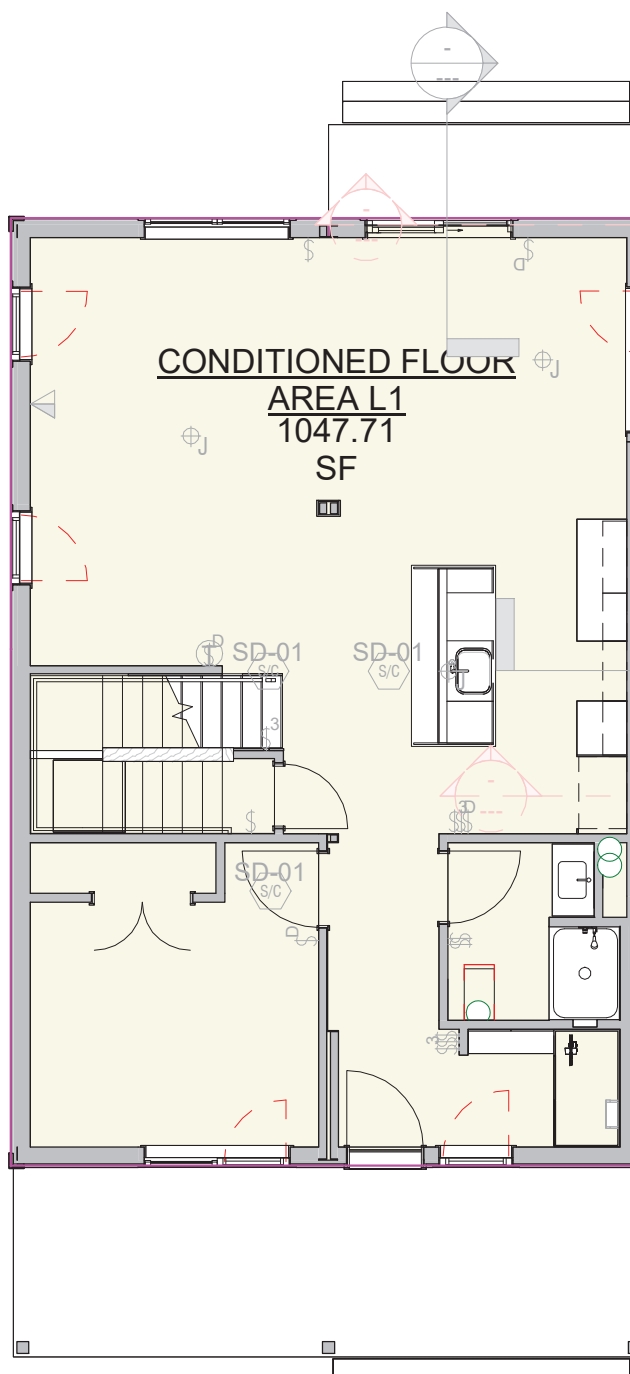
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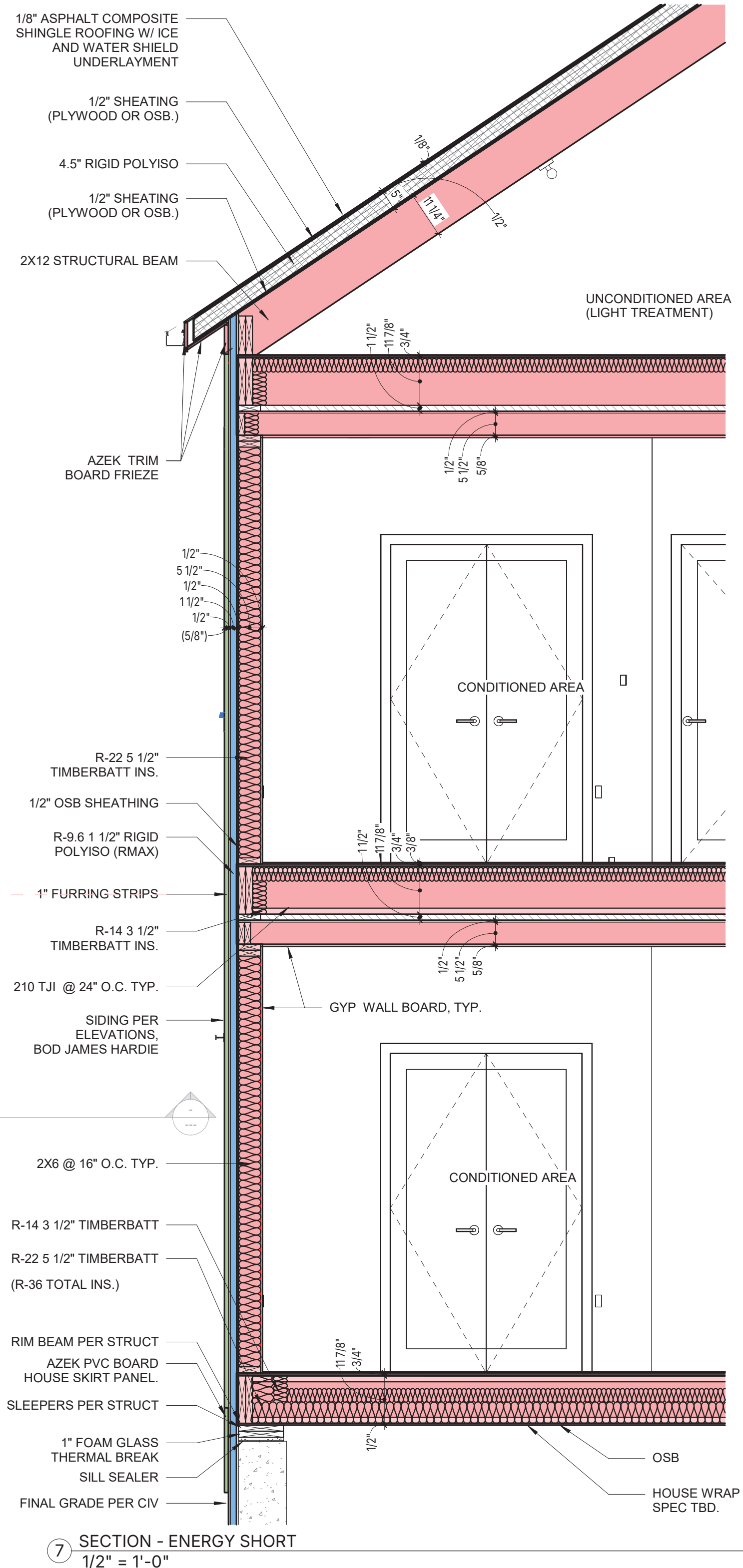
⑥ ROOF PLAN _ Copy 1
1/8" = 1'-0"



⑤ CONDITIONED FLOOR AREA L2
1/8" = 1'-0"



④ CONDITIONED FLOOR AREA L1
1/8" = 1'-0"





① TYPICAL EGRESS - GROUND FLOOR
1/16" = 1'-0"

EGRESS LEGEND

- | | |
|---|-----------------------|
| 1 | PRIMARY EGRESS DOOR |
| 2 | SECONDARY EGRESS DOOR |

25 A & B
BUILD PHASE 1

27 A & B
BUILD PHASE 1

29 A & B
BUILD PHASE 2

31 A & B
BUILD PHASE 2

33 A & B
BUILD PHASE 2

35 A & B
BUILD PHASE 2

② SITE PLAN - OVERALL & PHASING
1" = 30'-0"

SITE PLAN NOTES

1. SITE PLAN IS PROVIDED FOR ARCHITECTURAL AND PHASING INFORMATION. SEE CIVIL PLANS FOR BALANCE OF INFORMATION.
2. SEE CIVIL PLANS FOR LANDSCAPE DESIGN, PLANTING SCHEDULE AND DETAILS.
3. SEE CIVIL PLANS FOR GRADE AT THE BUILDINGS AND INTERIOR FINISHED FLOOR ELEVATIONS.
4. PROPERTY FENCES SHALL BE COORDINATED BY FUTURE HOMEOWNERS AND MEET ALL DEC REQUIREMENTS.

SITE PLAN LEGEND

- | | |
|---|---|
| 1 | PERMEABLE SURFACE TREATMENT |
| 2 | 4" DOWNSPOUT FROM ROOF ABOVE |
| 3 | FUTURE SHED LOCATION, TO BE COORDINATED WITH HOMEOWNER. |
| 4 | TRASH/RECYCLING AREA |
| 5 | EQUIPMENT, MOUNTED ON WALL |
| 6 | COVERED FRONT PORCH |
| 7 | CLUSTER MAILBOX, SEE CIV |



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DEC SIGNATURE BLOCK

DRAWING ISSUANCES

1	03/28/25	SD SET
2	08/09/25	SITE PLAN SUBMISSION

SHEET REVISIONS

25 Adams Circle

NOT FOR CONSTRUCTION

OWNER

Adams Circle LLC

SITE & PHASING PLAN

A110

SCALE: As indicated

ARCHITECT

ANDREW MCCUNE





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Innova Building Advisors
1548 South 16th Street
Philadelphia, PA 19146
(215) 446-9945



DRAWING ISSUANCES

1	03/28/25	SD SET
2	08/09/25	SITE PLAN SUBMISSION

SHEET REVISIONS

25 Adams
Circle

NOT FOR CONSTRUCTION

OWNER

Adams Circle LLC

TYP ARCHITECTURAL
SITE PLAN

A111

SCALE: As indicated

ARCHITECT

ANDREW MCCUNE



1 TYPICAL SITE PLAN - 29 A & B
1/8" = 1'-0"

SITE PLAN NOTES

1. SITE PLAN IS PROVIDED FOR ARCHITECTURAL AND PHASING INFORMATION. SEE CIVIL PLANS FOR BALANCE OF INFORMATION.
2. SEE CIVIL PLANS FOR LANDSCAPE DESIGN, PLANTING SCHEDULE AND DETAILS.
3. SEE CIVIL PLANS FOR GRADE AT THE BUILDINGS AND INTERIOR FINISHED FLOOR ELEVATIONS.
4. PROPERTY FENCES SHALL BE COORDINATED BY FUTURE HOMEOWNERS AND MEET ALL DEC REQUIREMENTS.

SITE PLAN LEGEND

- | | |
|---|---|
| 1 | PERMEABLE SURFACE TREATMENT |
| 2 | 4" DOWNSPOUT FROM ROOF ABOVE |
| 3 | FUTURE SHED LOCATION, TO BE COORDINATED WITH HOMEOWNER. |
| 4 | TRASH/RECYCLING AREA |
| 5 | EQUIPMENT, MOUNTED ON WALL |
| 6 | COVERED FRONT PORCH |
| 7 | CLUSTER MAILBOX, SEE CIV |



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Austin, TX 78704

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(774) 501-2176

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NOTES

1. BUILDING ELEVATION MATERIALS ARE SHOWN FOR REFERENCE; SEE A300 SERIES FOR BALANCE OF MATERIAL INFORMATION.
2. SEE LANDSCAPE AND CIVIL PLANS FOR BALANCE OF SITE INFORMATION.
3. SEE LANDSCAPE PLANS FOR ALL PLANTING INFORMATION.
4. SEE LANDSCAPE PLANS FOR TRASH AND RECYCLING STORAGE INFORMATION.

CONSTRUCTION SYMBOLS

? MATERIAL TAG

EXTERIOR BUILDING MATERIAL LEGEND

- | | |
|--|--|
| <FC-01> LAP SIDING, COLOR PER SITE ELEVATION KEY | <TR-03> AZEK CORNER BOARD 5/4" X 8" X 8" |
| <WD-01> LUNAWOOD THERMOWOOD 1X6 SIDING | <TR-04> AZEK 1" SHEET, CUT TO SIZE |
| <WD-02> LUNAWOOD THERMOWOOD WINDOW SURROUND | <TR-05> AZEK FASCIA BOARD |
| <TR-01> WINDOW TRIM, AZEK CLEAN & SIMPLE | <TR-06> AZEK CORNER BOARD 5/8" X 8" X 8" |
| <TR-02> AZEK TRIM BOARD 5/4" X 8" | <RF-01> ROOF SHINGLES, ASPHALT, CHARCOAL |

SITE ELEVATION KEY

- | | |
|---------------------|------------------------|
| <FC-A> AGED PEWTER | <FC-D> RICH ESPRESSO |
| <FC-B> COBBLE STONE | <FC-E> MOUNTAIN SAGE |
| <FC-C> DEEP OCEAN | <FC-F> COUNTRYSIDE RED |

EXTERIOR MATERIAL KEY

- | | |
|---|--|
| 1 | SITE FENCE, SEE LANDSCAPE. FUTURE HOMEOWNER SCOPE. |
| 2 | CARPORT & YARD FENCE, SEE LANDSCAPE. |
| 3 | GUTTER, DURAGUTTER SQ-1 BOD |
| 4 | SOLAR PANEL SYSTEM, Q. PEAK DUO BLK W/ SNAP-N-RACK ATTACHMENT. INCLUDED WITH CUSTOMER UPGRADE. |



2 DUPLEX ELEVATION
1/4" = 1'-0"



1 SITE ELEVATION - FRONT
1" = 20'-0"

DRAWING ISSUANCES

1	03/28/25	SD SET
2	08/05/25	SITE PLAN SUBMISSION

SHEET REVISIONS

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OWNER

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SITE & DUPLEX
ELEVATION

A112

SCALE: As indicated

ARCHITECT

ANDREW MCCUNE





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DEC SIGNATURE BLOCK

DRAWING ISSUANCES

1	03/28/25	SD SET
2	08/05/25	SITE PLAN SUBMISSION

SHEET REVISIONS

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OWNER

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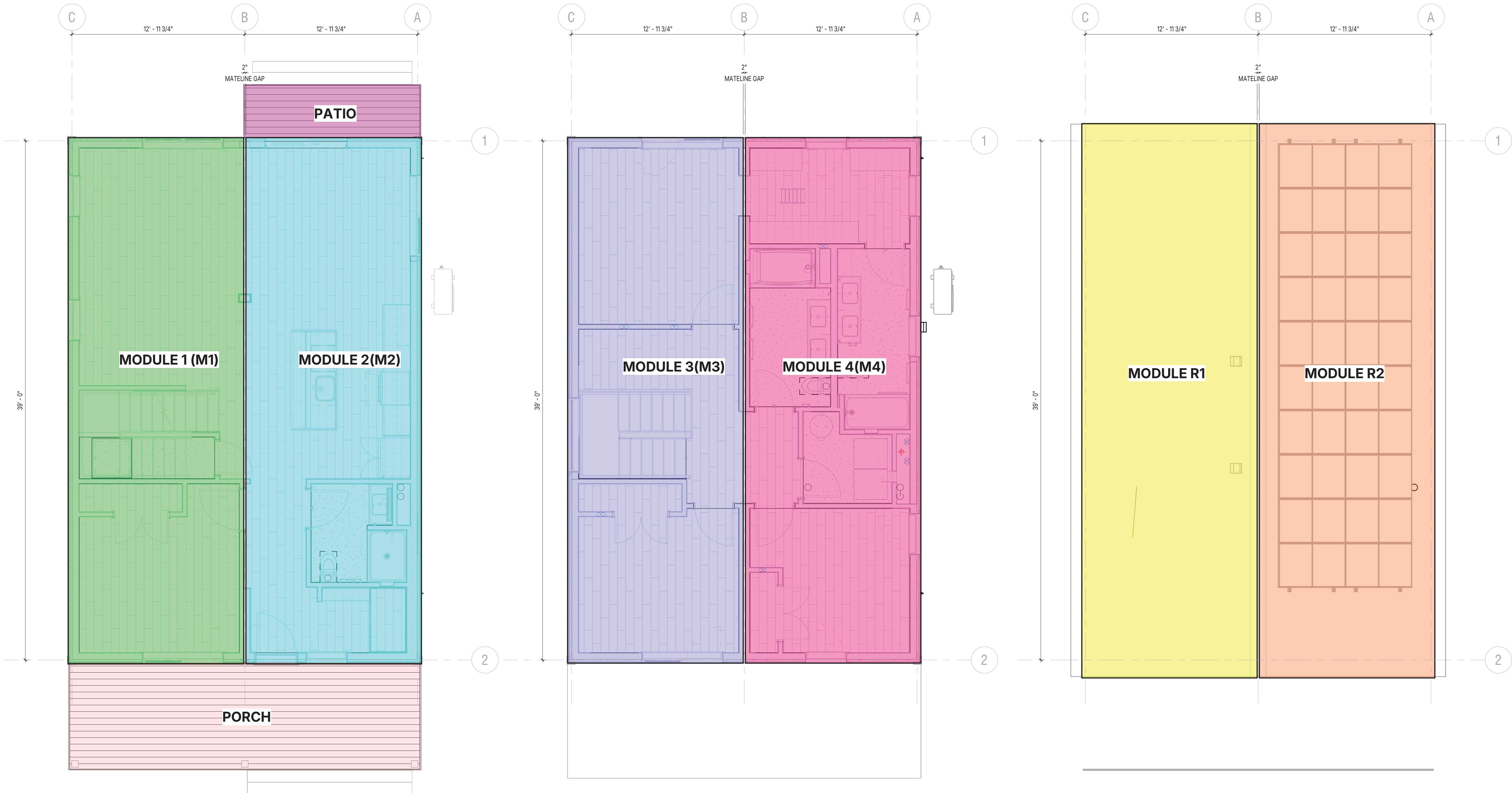
MODULE KEY PLANS

A120

SCALE: 1/4" = 1'-0"

ARCHITECT

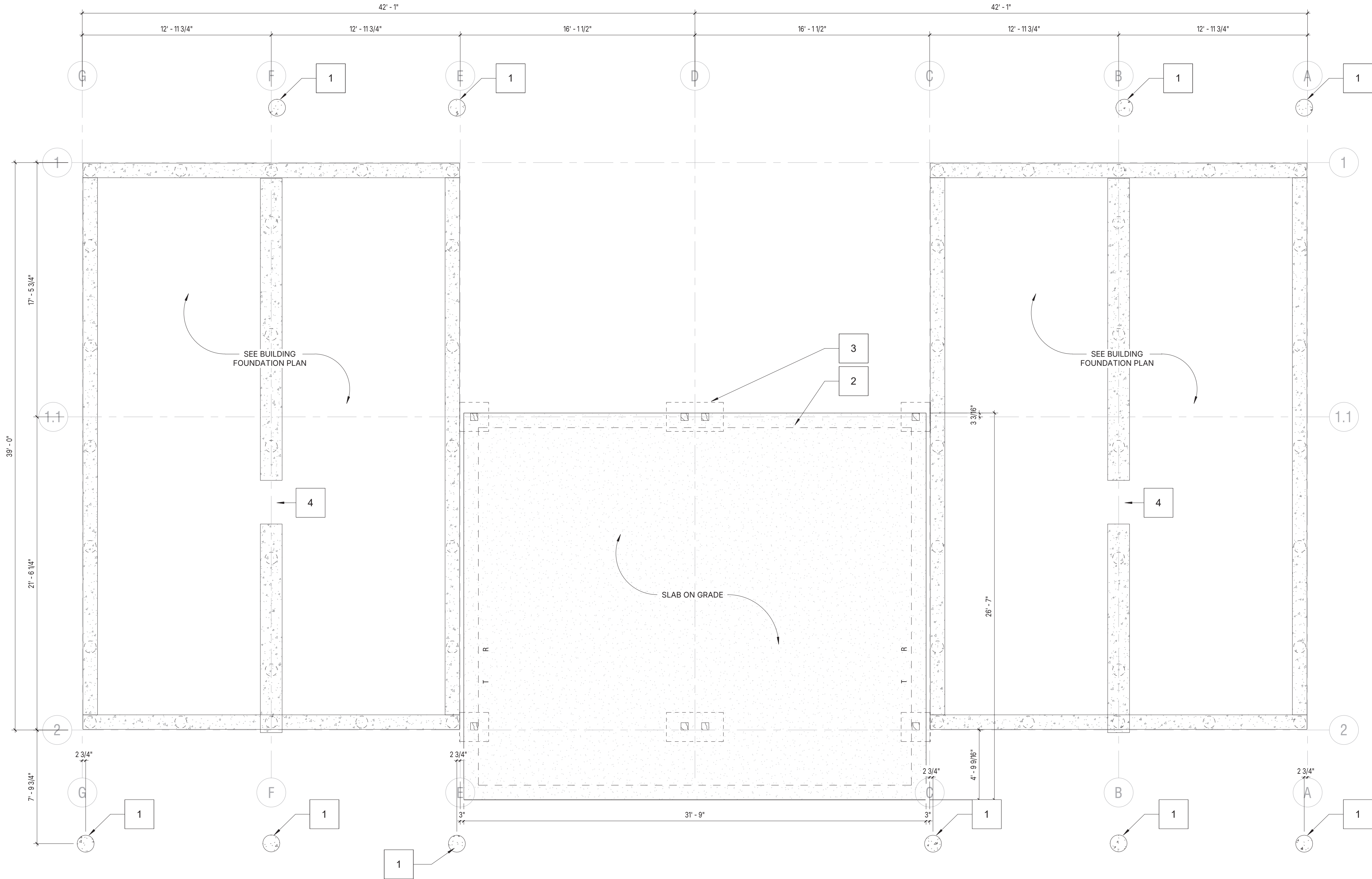
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2 LEVEL 1 MODULE KEY PLAN
1/4" = 1'-0"

1 LEVEL 2 MODULE KEY PLAN
1/4" = 1'-0"

3 ROOF MODULE KEY PLAN
1/4" = 1'-0"



1 FOUNDATION PLAN
1/4" = 1'-0"

GENERAL FOUNDATION PLAN NOTES

1. PLAN IS SHOWN FOR REFERENCE. SEE STRUCTURAL DRAWINGS FOR FOUNDATION ELEMENT SPECIFICATIONS, SIZES AND DETAILS.
2. HELICAL PIER LAYOUT IS SHOWN FOR REFERENCE, TO BE COORDINATED WITH ENGINEERED PIER DESIGN.
3. ALL FOOTINGS SHALL EXTEND BELOW THE FROST LINE, PER STRUCTURAL SPECIFICATIONS.

KEYNOTES

- | | |
|---|-----------------------------|
| 1 | SONOTUBE, SEE STRUCT |
| 2 | SLAB EDGE BELOW, SEE STRUCT |
| 3 | FOOTING, SEE STRUCT |
| 4 | ACCESS LEAVE-OUT |

GRAPHIC KEY

- | | |
|--|--------------|
| | FENCE POST |
| | CARPORT POST |



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OWNER

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DUPLEX FOUNDATION
PLAN

A130B

SCALE: 1/4" = 1'-0"

ARCHITECT

ANDREW MCCUNE





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CONSTRUCTION SYMBOLS

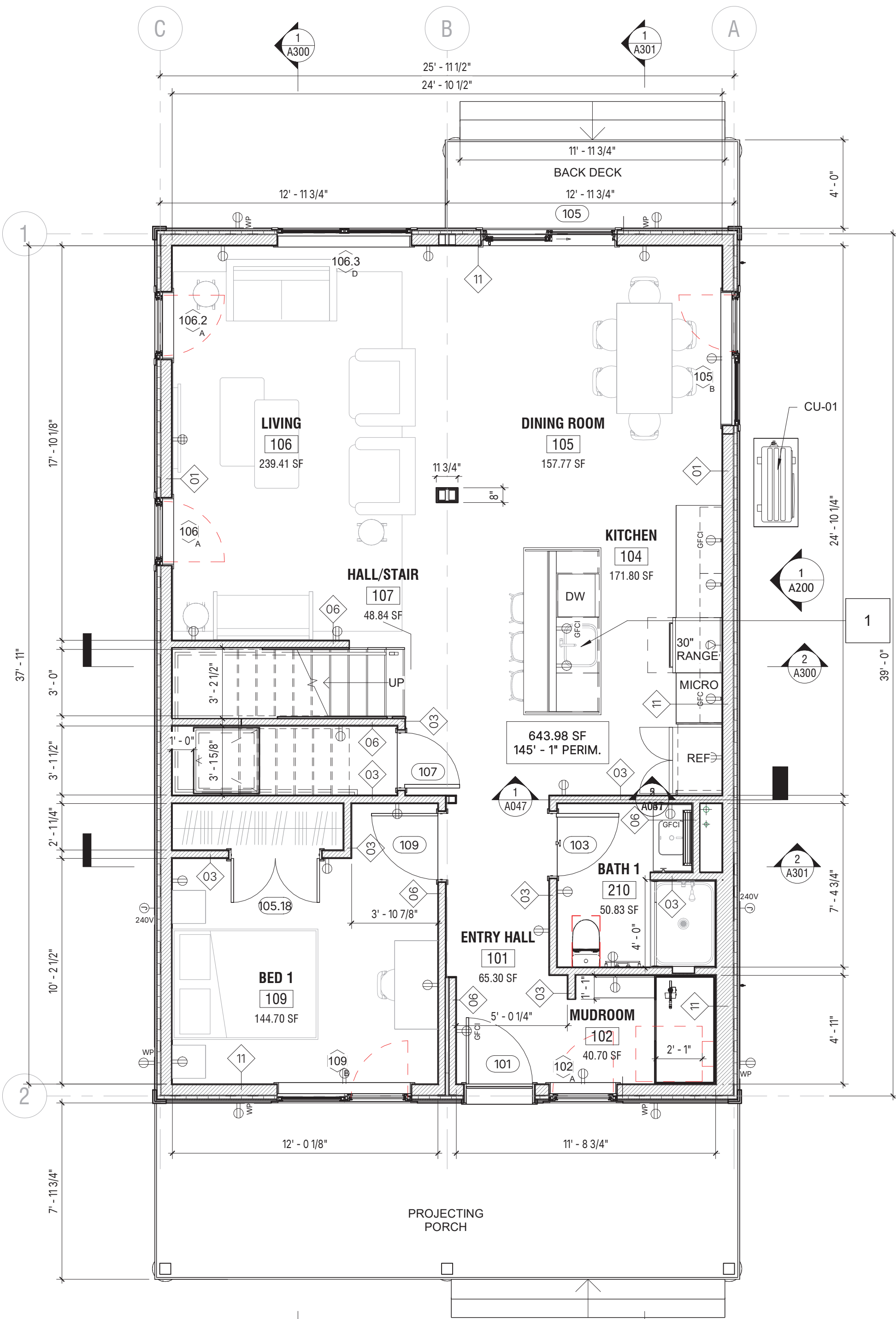
- A DOOR TAG
- A WINDOW TAG
- II PARTITION TYPE, REFER TO A0XX
- EP ELECTRICAL PANEL, SEE ELECTRICAL PLAN
- SD-01 CLG. MTD. COMBINED SMOKE-CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP
- ERO EMERGENCY ESCAPE AND RESCUE OPENING

GENERAL FLOOR PLAN NOTES

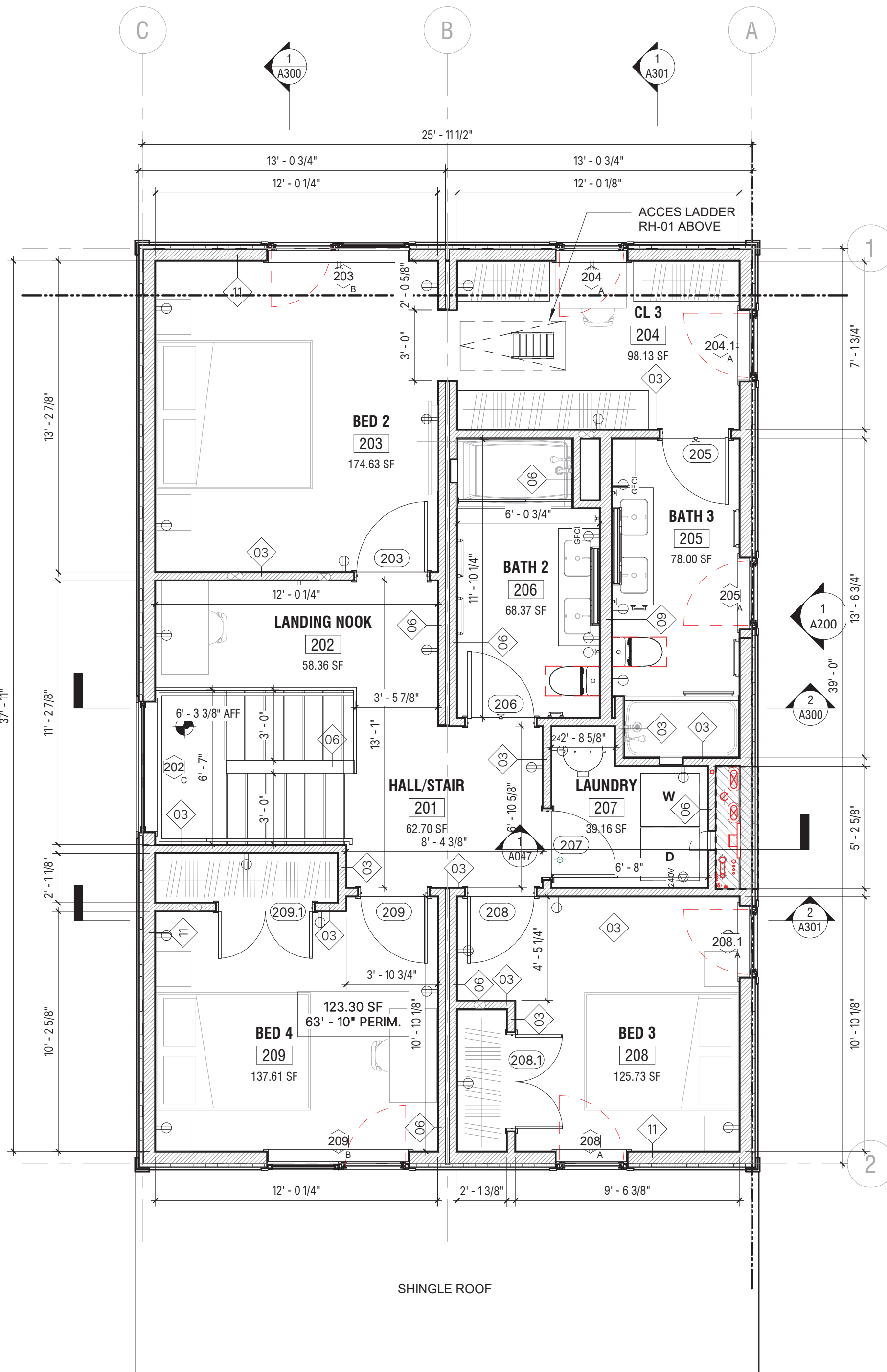
- SEE STRUCTURAL PLANS FOR MODULE DESIGNATIONS & SETTING ORDER.
- DO NOT SCALE THE DRAWINGS. ONLY WRITTEN DIMENSIONS OR SCALES SHALL BE USED.
- WALLS AND PARTITIONS ARE DIMENSIONED TO THE FINISH MATERIAL. SEE PARTITION SCHEDULE FOR ASSEMBLY INFORMATION.
- DOOR FRAME HINGES ARE LOCATED 4" MIN NOMINALLY OFF OF THE ADJACENT PERPENDICULAR WALL, TYP, UNO.
- STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, INFORMATION IS SHOWN FOR REFERENCE. SEE ENGINEER'S DRAWINGS FOR ADDITIONAL INFORMATION.
- FOR ALL PARTITION, DOORS AND WINDOW TYPES, REFER TO ARCHITECTURAL SCHEDULE SHEETS AND DETAILS.
- INSTALL BLOCKING PER TYPICAL DTLs FOR FUTURE GRAB BAR INSTALLATION WITHIN RESTROOMS.
- INSTALL BLOCKING AS NEEDED FOR KITCHEN CABINETRY, BATHROOM VANITIES AND ACCESSORIES, HANDRAILS, AND CLOSET SHELVING.

GENERAL FLOOR PLAN KEYNOTES

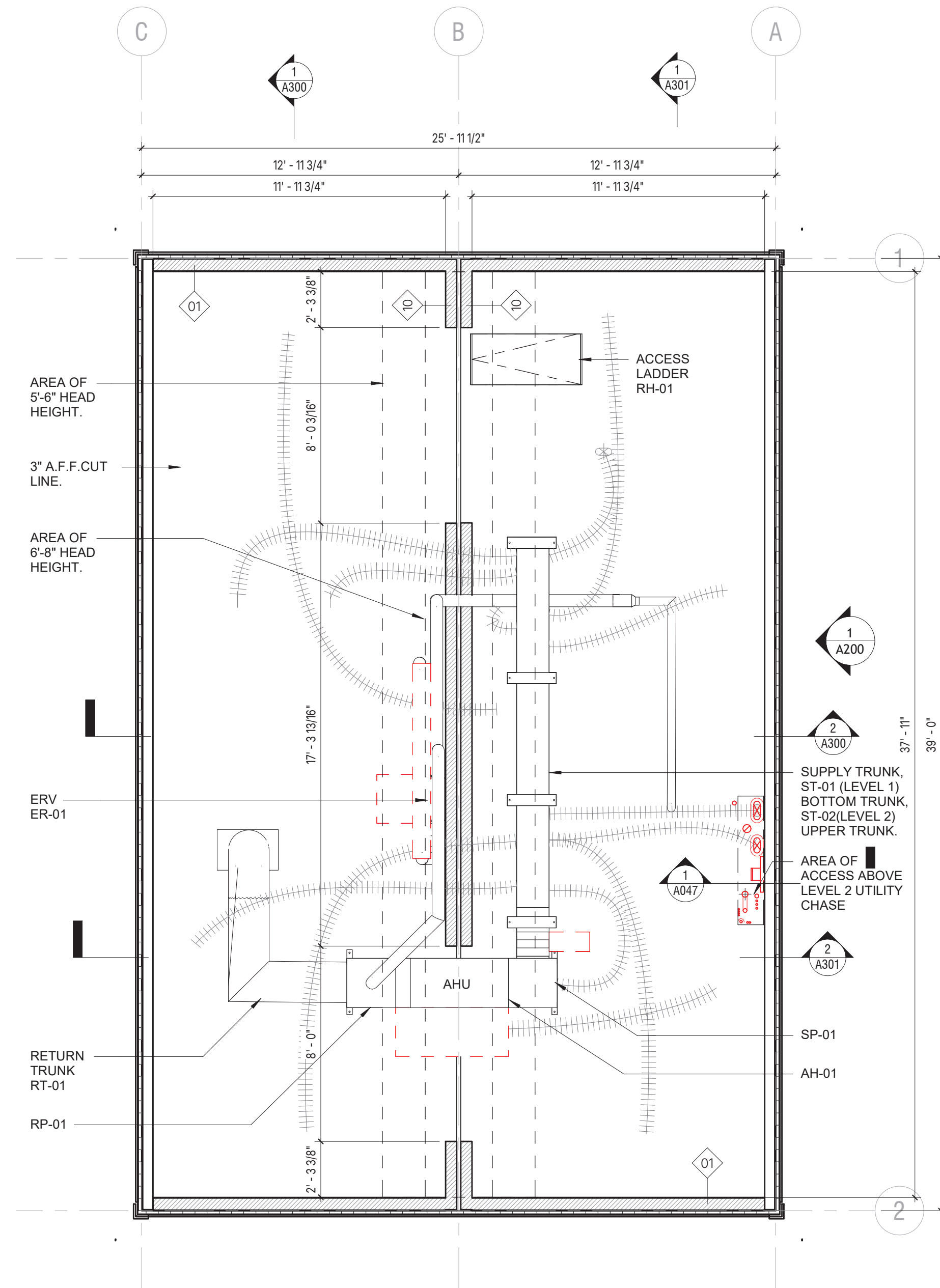
- 1 STATE AND NTA LABELS (UNDER KITCHEN SINK)



1 LEVEL 1 PLAN
1/4" = 1'-0"



2 LEVEL 2 PLAN
1/4" = 1'-0"



3 ATTIC PLAN
1/4" = 1'-0"

DEC SIGNATURE BLOCK

DRAWING ISSUANCES

- 1 03/28/25 SD SET
2 08/05/25 SITE PLAN SUBMISSION

SHEET REVISIONS

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Devens, MA 01434

OWNER

Adams Circle LLC

FLOOR PLANS

A131

SCALE: 1/4" = 1'-0"

ARCHITECT

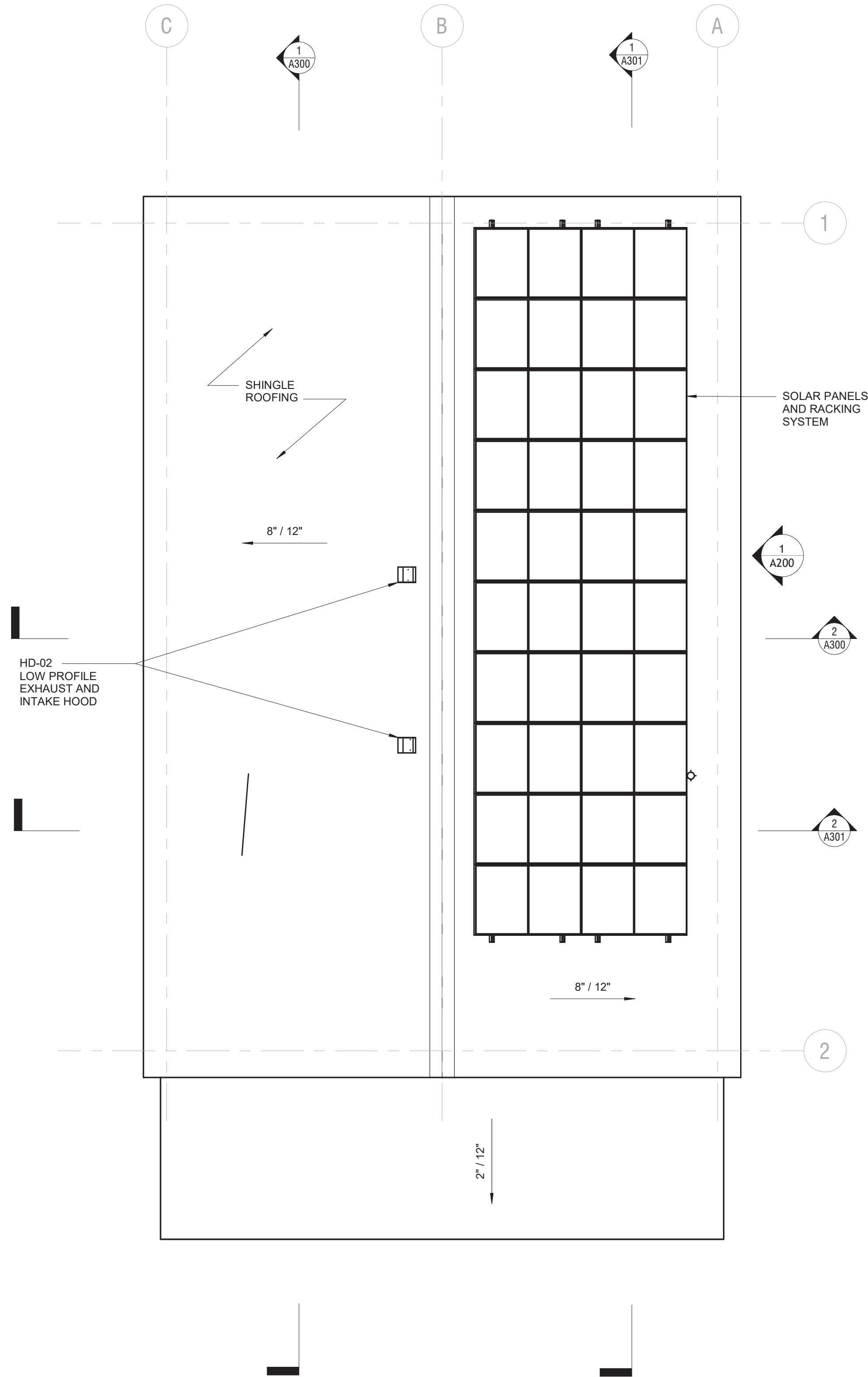
ANDREW MCCUNE



NOTES - ROOF PLAN

1.
- CONNECTION DETAILS ARE SHOWN FOR MODULE TO MODULE CONNECTION PROCESSES ONLY. SEE A020 SERIES FOR ALL RATED ASSEMBLIES AND CONTINUITY.

2.
- SEE STRUCTURAL FOR SHEAR CONNECTION SPECIFICATIONS.



1 ROOF PLAN
1/4" = 1'-0"



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SHEET REVISIONS

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OWNER

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ROOF PLAN

A132

SCALE: As indicated

ARCHITECT

ANDREW MCCUNE





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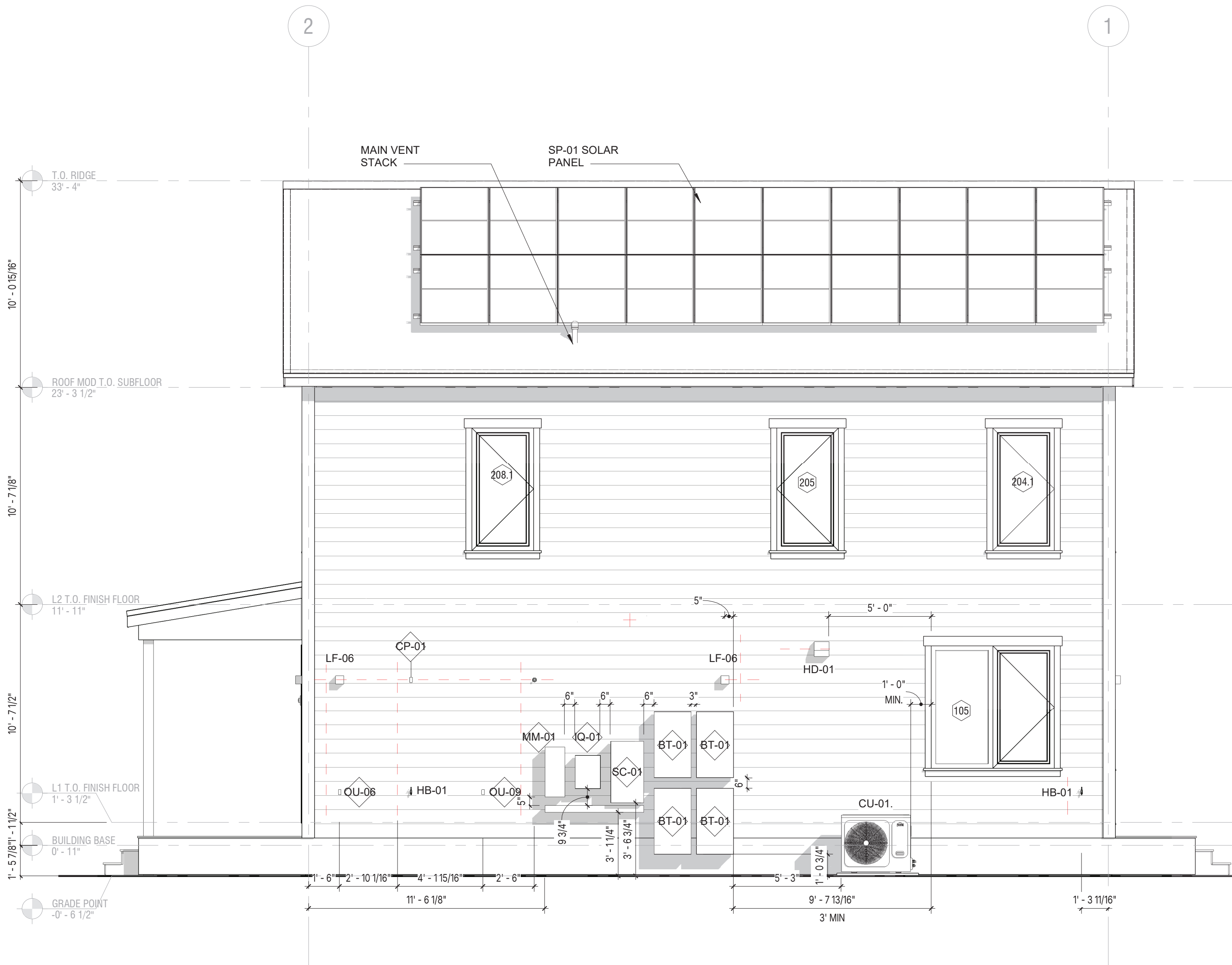
BUILDING ELEVATIONS

A200

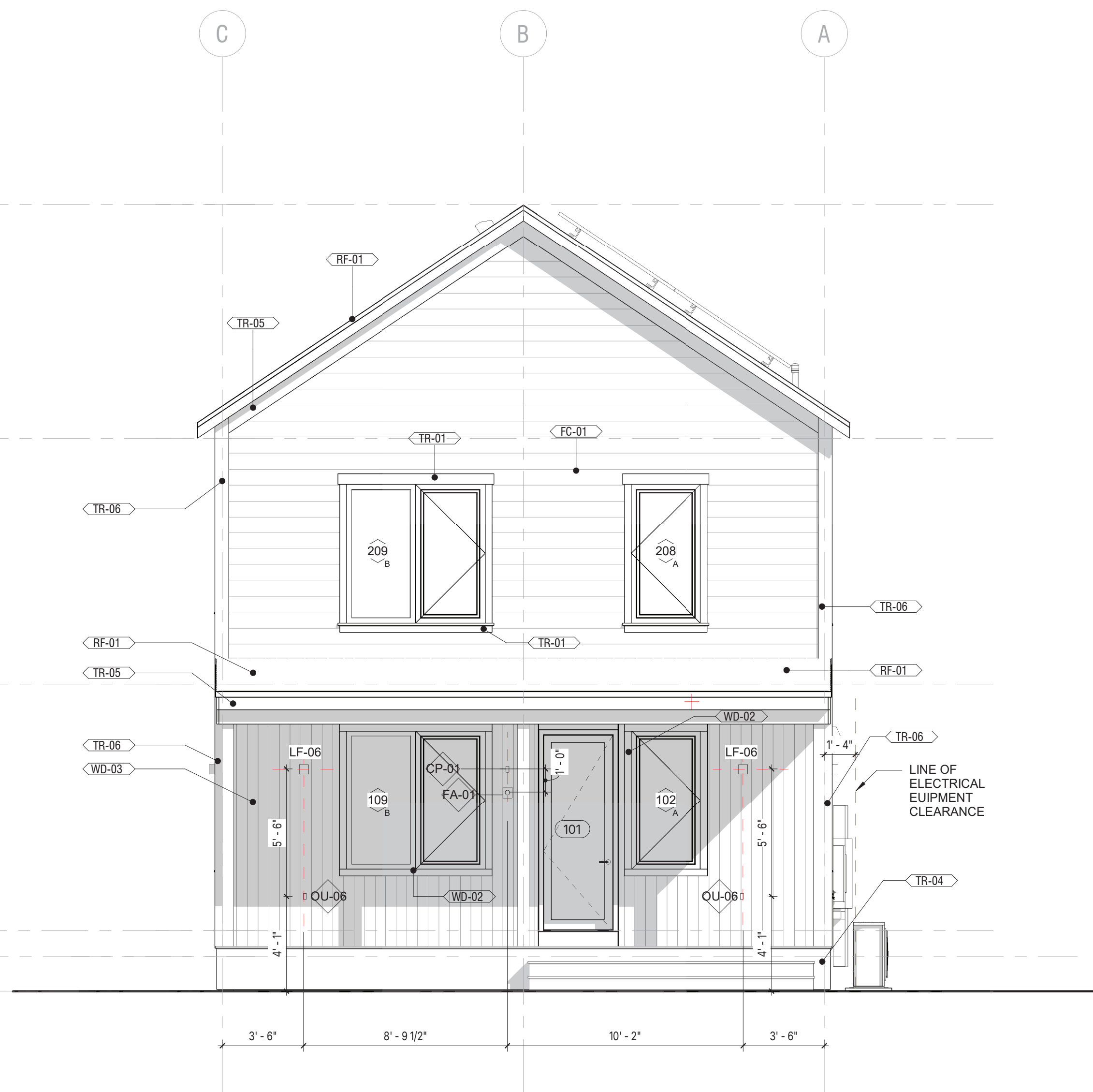
SCALE: 1/4" = 1'-0"

ARCHITECT

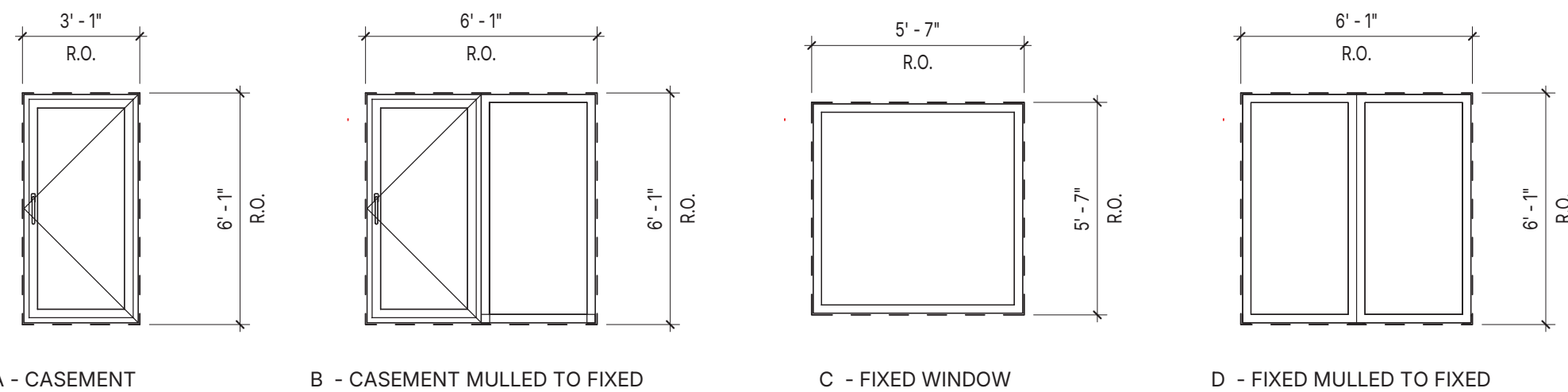
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① EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



② EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



Window Types Legend
1/4" = 1'-0"

CONSTRUCTION SYMBOLS

- A DOOR TAG
- A WINDOW TAG
- ? MATERIAL TAG

EXTERIOR MATERIAL LEGEND

- FC-01 HARDIE PLANK LAP SIDING, COLOR PER SITE ELEVATION KEY
- WD-02 LUNAWOOD THERMOWOOD WINDOW SURROUND
- WD-03 LUNAWOOD THERMOWOOD 1X6 SIDING
- TR-01 WINDOW TRIM, AZEK CLEAN & SIMPLE
- TR-04 AZEK 1" SHEET, CUT TO SIZE
- TR-05 AZEK FASCIA BOARD
- TR-06 AZEK CORNER BOARD 5/8" X 8" X 8"
- RF-01 ROOF SHINGLES, ASPHALT, CHARCOAL



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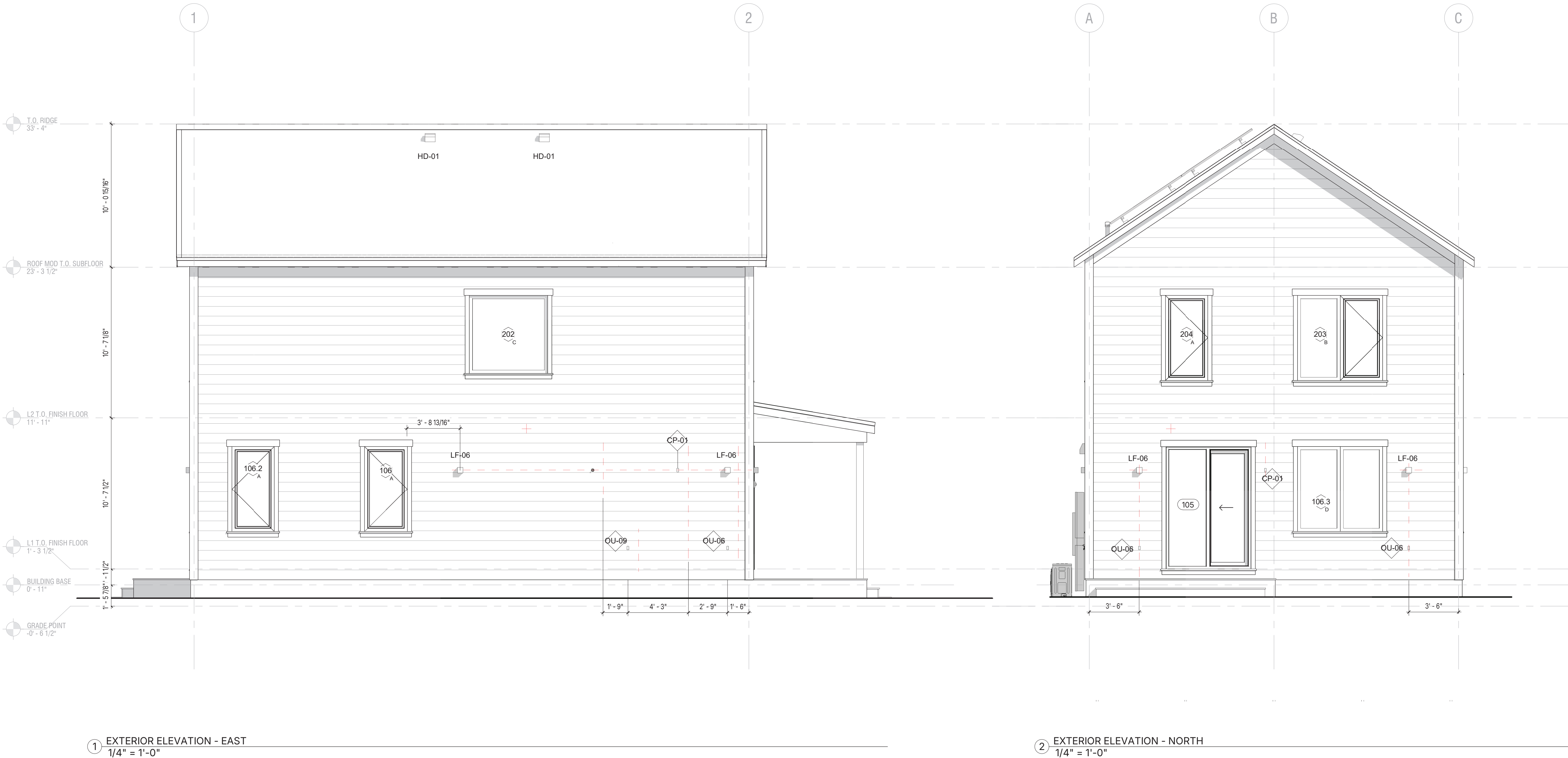
BUILDING ELEVATIONS

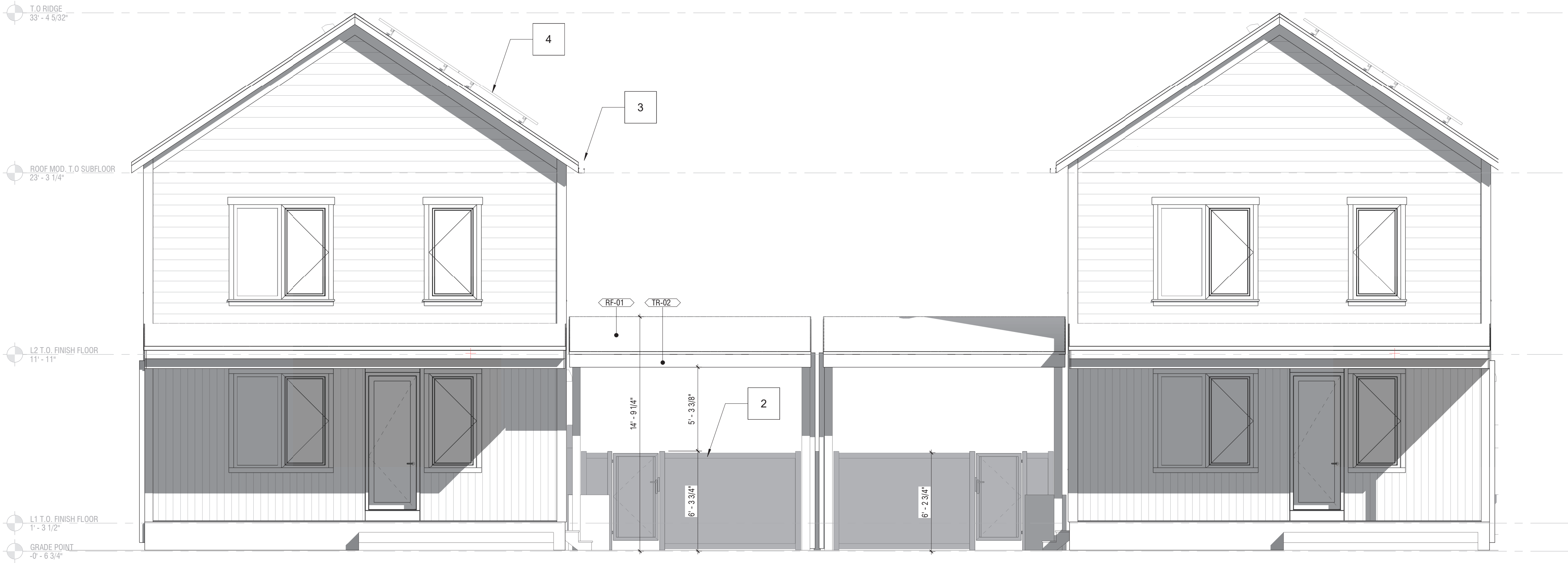
A201

SCALE: 1/4" = 1'-0"

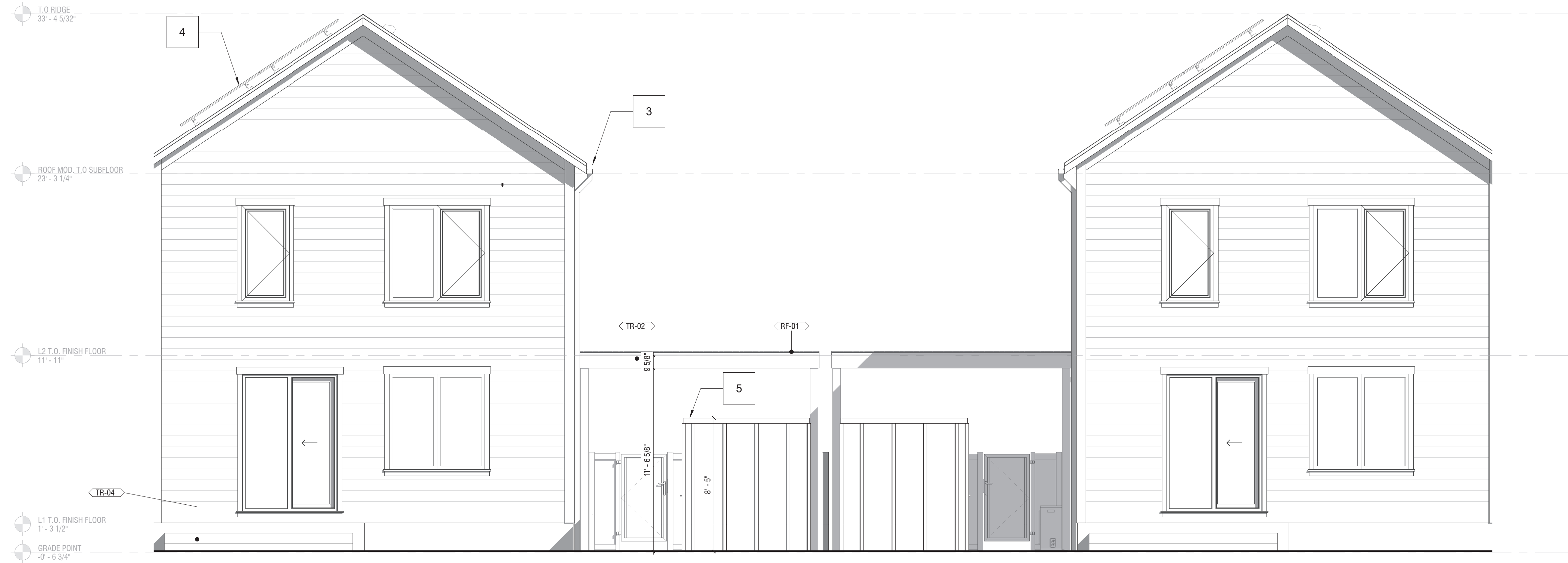
ARCHITECT

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1 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

CONSTRUCTION SYMBOLS

? MATERIAL TAG

EXTERIOR MATERIAL LEGEND

- FC-01

LAP SIDING, COLOR PER SITE ELEVATION KEY
- WD-01

LUNAWOOD THERMOWOOD 1X6 SIDING
- WD-02

LUNAWOOD THERMOWOOD WINDOW SURROUND
- TR-01

WINDOW TRIM, AZEK CLEAN & SIMPLE
- TR-02

AZEK TRIM BOARD 5/4" X 8"

TR-03

AZEK CORNER BOARD 5/4" X 8" X 8"

TR-04

AZEK 1" SHEET, CUT TO SIZE

TR-05

AZEK FASCIA BOARD

TR-06

AZEK CORNER BOARD 5/8" X 8" X 8"

RF-01

ROOF SHINGLES, ASPHALT, CHARCOAL

EXTERIOR MATERIAL KEY

- 1

SITE FENCE, SEE LANDSCAPE. FUTURE HOMEOWNER SCOPE.
- 2

YARD FENCE, VERANDA WHITE WINDHAM BOD
- 3

GUTTER, DURAGUTTER SQ-1 BOD
- 4

SOLAR PANEL SYSTEM, Q.PEAK DUO BLK W/ SNAP-N-RACK ATTACHMENT. INCLUDED WITH CUSTOMER UPGRADE.
- 5

SHED TBD
- 6

EQUIPMENT, MOUNTED ON WALL
- 7

TRUSH/RECYCLING AREA



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DRAWING ISSUANCES

1	03/28/25	SD SET
2	08/05/25	SITE PLAN SUBMISSION

SHEET REVISIONS

25 Adams
Circle

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Devens, MA 01434

OWNER

Adams Circle LLC

DUPLEX ELEVATIONS

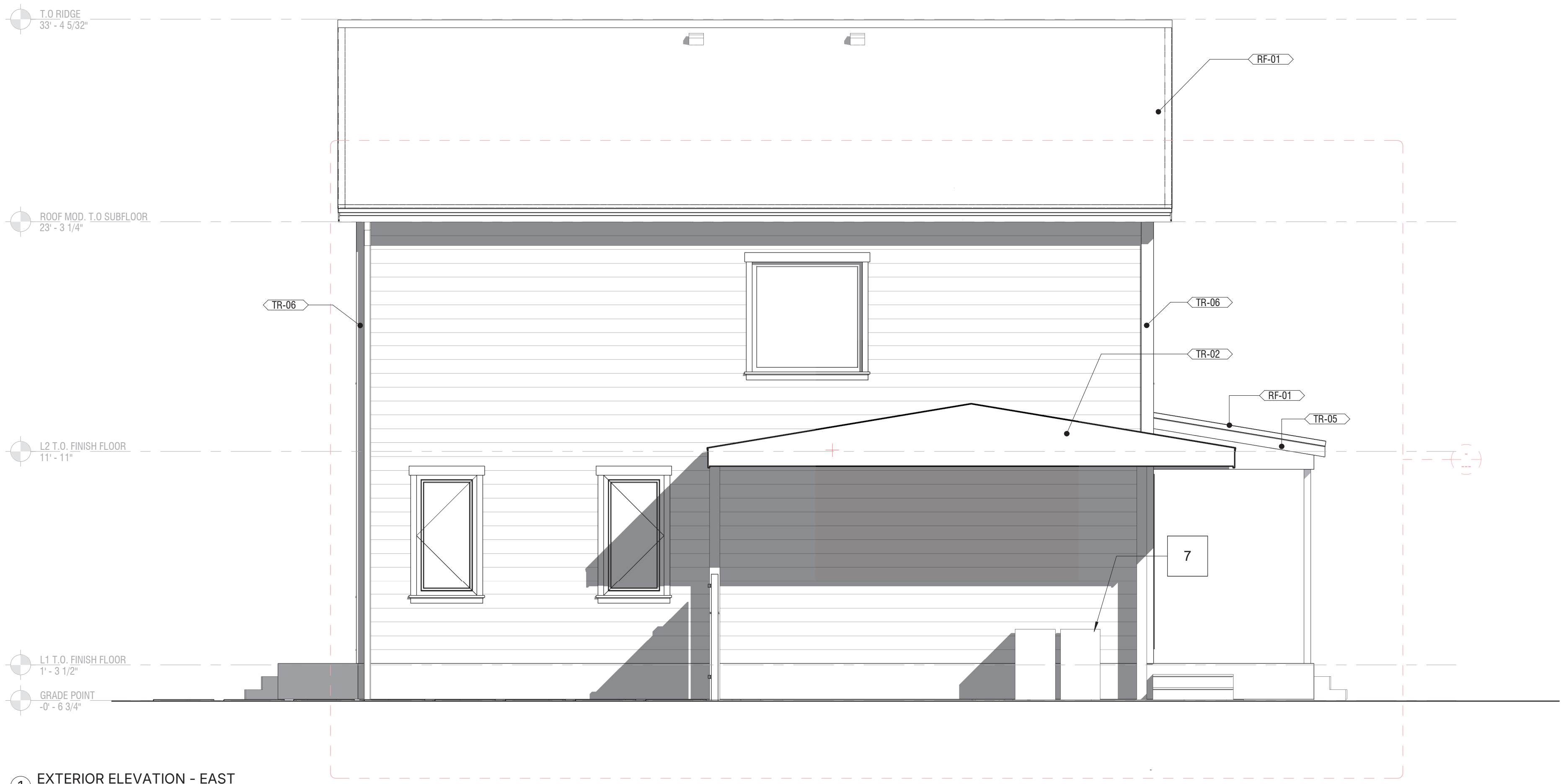
A210

SCALE: 1/4" = 1'-0"

ARCHITECT

ANDREW MCCUNE





1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

CONSTRUCTION SYMBOLS

? MATERIAL TAG

EXTERIOR MATERIAL LEGEND

FC-01	LAP SIDING, COLOR PER SITE ELEVATION KEY	TR-03	AZEK CORNER BOARD 5/4" X 8" X 8"
WD-01	LUNAWOOD THERMOWOOD 1X6 SIDING	TR-04	AZEK 1" SHEET, CUT TO SIZE
WD-02	LUNAWOOD THERMOWOOD WINDOW SURROUND	TR-05	AZEK FASCIA BOARD
TR-01	WINDOW TRIM, AZEK CLEAN & SIMPLE	TR-06	AZEK CORNER BOARD 5/8" X 8" X 8"
TR-02	AZEK TRIM BOARD 5/4" X 8"	RF-01	ROOF SHINGLES, ASPHALT, CHARCOAL

EXTERIOR MATERIAL KEY

1	SITE FENCE, SEE LANDSCAPE. FUTURE HOMEOWNER SCOPE.
2	YARD FENCE, VERANDA WHITE WINDHAM BOD
3	GUTTER, DURAGUTTER SQ-1 BOD
4	SOLAR PANEL SYSTEM, Q.PEAK DUO BLK W/ SNAP-N-RACK ATTACHMENT. INCLUDED WITH CUSTOMER UPGRADE.
5	SHED TBD
6	EQUIPMENT, MOUNTED ON WALL
7	TRUSH/RECYCLING AREA



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SHEET REVISIONS

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25 Adams Circle
Devens, MA 01434

OWNER

Adams Circle LLC

DUPLEX ELEVATIONS

A211

SCALE: 1/4" = 1'-0"

ARCHITECT

ANDREW MCCUNE





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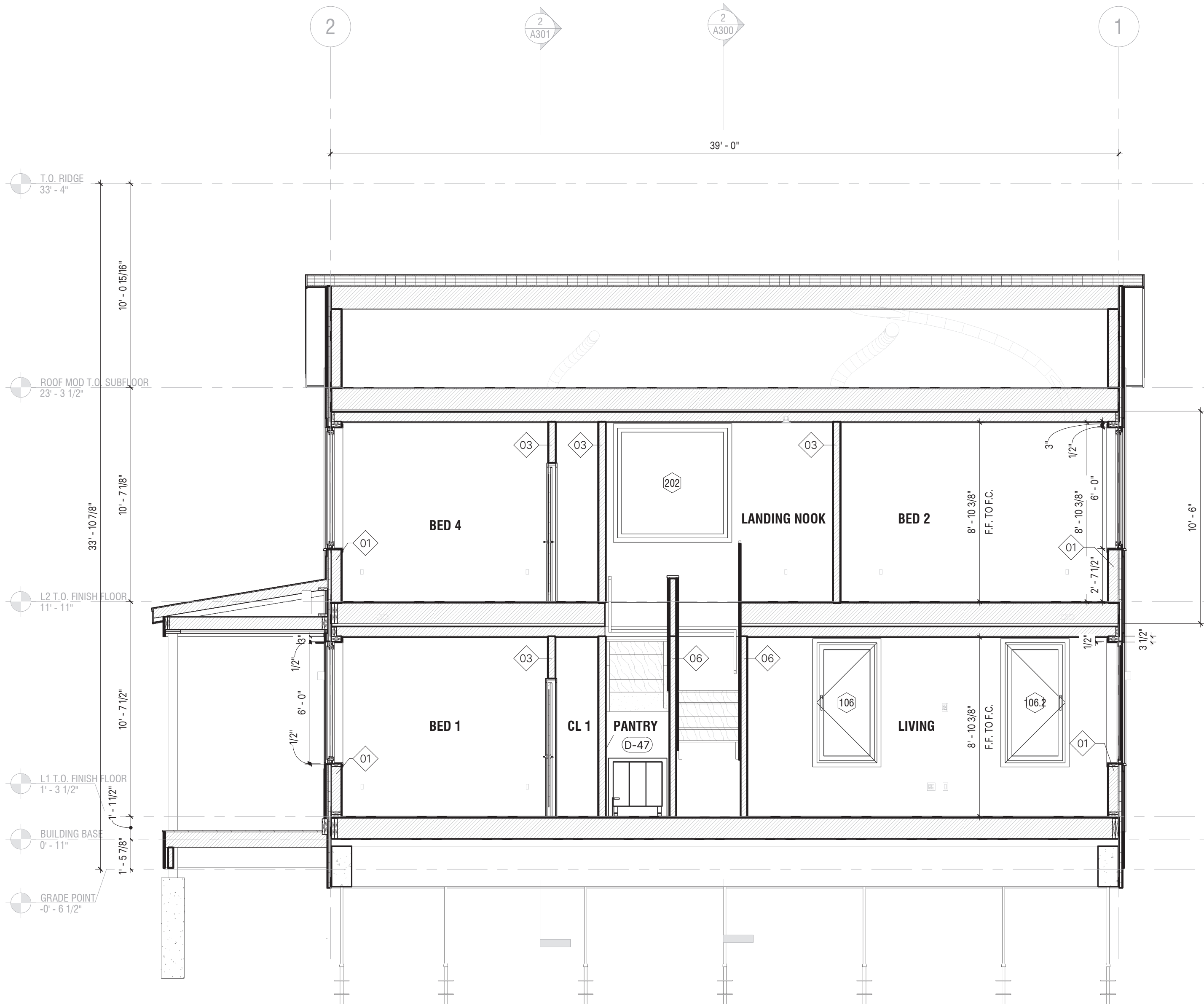
BUILDING SECTIONS

A300

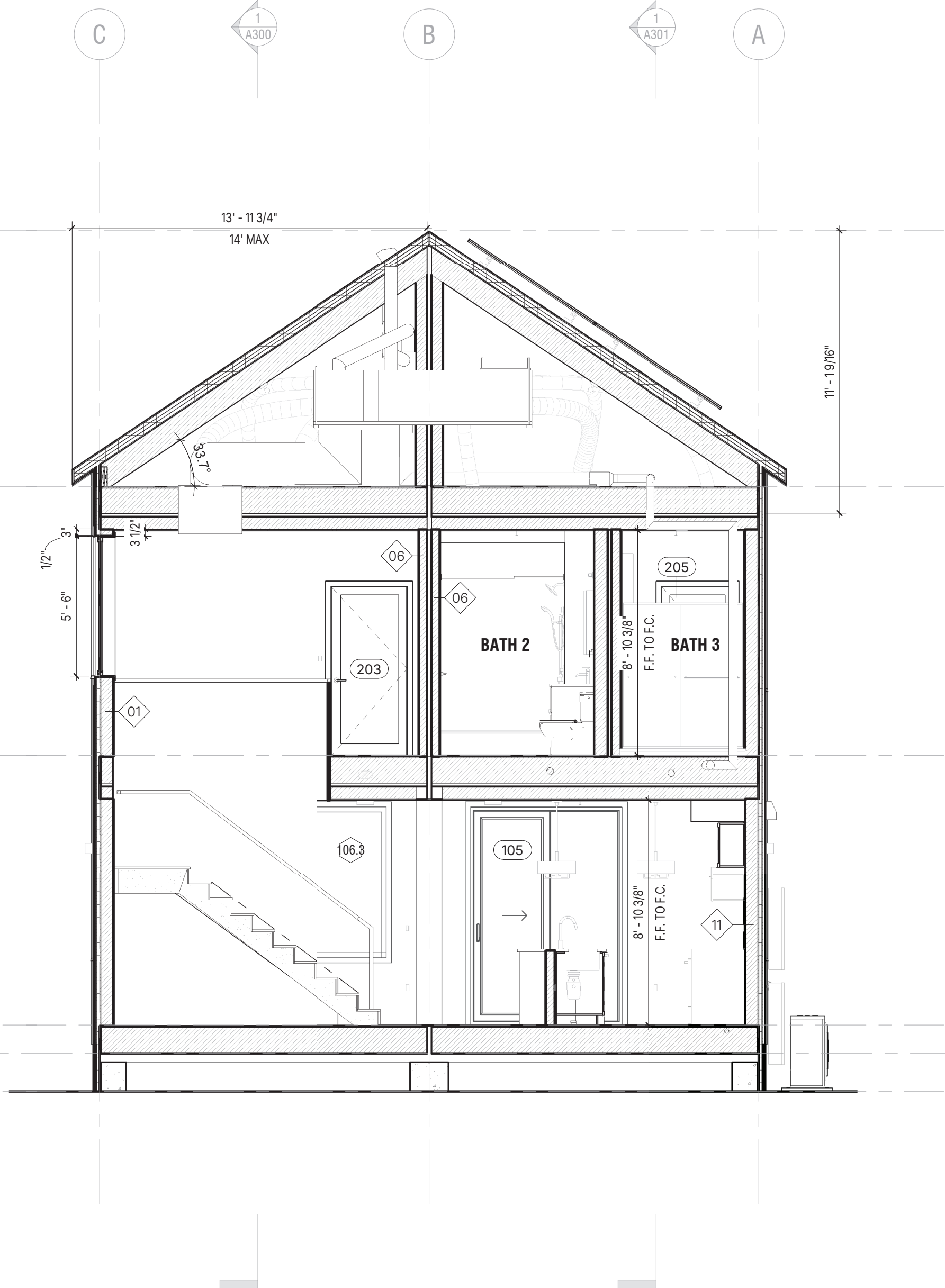
SCALE: 1/4" = 1'-0"

ARCHITECT

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1 SECTION - LONG - MODS 1,3,5
1/4" = 1'-0"



2 SECTION - SHORT - THROUGH STAIRS
1/4" = 1'-0"



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OWNER

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BUILDING SECTIONS

A301

SCALE: 1/4" = 1'-0"

ARCHITECT

ANDREW MCCUNE



1 SECTION - LONG - MODS 2,4,6
1/4" = 1'-0"

2 SECTION - SHORT
1/4" = 1'-0"